

DA
CANTERBURY BANKSTOWN

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AS & NCC COMPLIANCE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.

- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
- BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
- ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
- INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
- TERMITE MANAGEMENT IN ACCORDANCE WITH AS 3660 AND NCC 2022.
- GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
- SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
- INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
- EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
- WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
- CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
- BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
- SERVICES IN ACCORDANCE WITH NCC 2022.
- EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
- EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
- EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	NO
BUSHFIRE	NO
CLASSIFIED ROAD	YES
DESIGN WIND CLASSIFICATION	N2 (NOT EXPOSED)
ESTATE/DEVELOPER GUIDELINES	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINE SUBSIDENCE	NO
MINIMUM FLOOR LEVEL	40.500m AHD
NOISE ATTENUATION	NO
SALINE SOIL	NO
SITE CLASSIFICATION	P-M
SNOW LOAD	NO
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	20.25km
ZONING	R2 - LOW DENSITY RESIDENTIAL

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT - GROUND FLOOR	MIN. 5,500mm	6,500mm
FRONT - FIRST FLOOR	MIN. 6,500mm	6,500mm
SIDE	MIN. 900mm	1,450mm
REAR	MIN. 6,000mm	10,150mm
BULK & SCALE		
SITE AREA	504.1m²	
SITE COVERAGE	N/A	28.08%
FLOOR SPACE RATIO	MAX. 0.5:1	0.426:1
BUILDING HEIGHT	MAX. 9,000mm	8,123mm
LANDSCAPE		
LANDSCAPED AREA	MIN. 226.85m²	260.09m²
LANDSCAPED AREA - FRONT	MIN. 44.56m²	120.08m²
EARTHWORKS		
CUT DEPTH	MAX. 600mm	536mm
FILL DEPTH	MAX. 600mm	0mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	3 SPACES
PRINCIPAL PRIVATE OPEN SPACE	MIN. 80m²	105.59m²

BUILDING INFORMATION

GROUND FLOOR PITCHING HEIGHT(S)	2745mm
FIRST FLOOR PITCHING HEIGHT(S)	2595mm
FRAMES AND TRUSSES	STEEL
ROOF PITCH (U.N.O.)	22.5° / 20°
ELECTRICITY SUPPLY	REFER TO SCOPE OF WORKS
GAS SUPPLY	MAINS / RETICULATED
ROOF MATERIAL	CONCRETE TILES
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER
WALL COLOUR	N/A
SLAB CLASSIFICATION	M

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR	
ALFRESCO	10.56
LIVING	113.97
PATIO	11.11
STAIRS	5.94
	141.58 m²
MAIN DWELLING, FIRST FLOOR	
BALCONY	7.48
LIVING	115.91
STAIR VOID	5.38
	128.77 m²
	270.35 m²

INSULATION

ROOF	SARKING UNDER ROOFING
CEILING	R6.0 BATTS (EXCL. GARAGE)
EXT. WALLS	R2.2 BATTS (EXCL. GARAGE)
INT. WALLS	R2.2 BATTS (THROUGHOUT ALL INTERNAL WALLS)
FLOOR	R4.1 INSULATION BETWEEN FIRST FLOOR JOISTS

NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

ACOUSTIC REQUIREMENTS

PROVIDE THE FOLLOWING ACOUSTIC REQUIREMENTS TO THE HOME TO SUIT COLLIER'S ACCOUSTIC REPORT 25GCA0160 R01_2:
* PROVIDE A FRESH AIR INTAKE TO THE AIR CONDITIONING SYSTEM TO SUIT ALTERNATIVE VENTILATION REQUIREMNTS.
* PROVIDE 1 X LAYER OF 13MM PLASTERBOARD TO THE MASTER SUITE (EXCLUDING ENSUITE), CHILDREN S ACTIVITIES, BED 2, BED 3 AND BED 4 CEILINGS IN LIEU OF STANDARD.
*PENETRATION THROUGH THE CEILING/WALL SYSTEMS ARE TO HAVE MINIMUM GAPS NO GREATER THAN 15MM (NOM) AND TO BE FILLED WITH BOSTIK FIREBAN OR SIMILAR PRODUCTS.
*STANDARD CONSTRUCTION METHODOLOGY FOR EXTERNAL WALLS, CEILINGS AND ROOF APPLIES.
*ALL PROVIDED WINDOWS AND DOORS COMPLY WITH THE REQUIRED RW RATINGS AS SPECIFIED IN COLLIER'S ACCOUSTIC REPORT 25GCA0160 R01_2

SUSTAINABILITY

PRELIMINARY SUSTAINABILITY COMPLIANCE FOR YOUR HOME REQUIRES FURTHER ASSESSMENT TO DETERMINE COMPLIANCE CRITERIA. THIS ASSESSMENT WILL BE FINALISED UPON APPROVAL OF YOUR EXTERNAL COLOUR SELECTIONS TO DETERMINE IF VARIATIONS ARE REQUIRED TO THE PROPOSED DWELLING E.G. ADDITIONAL INSULATION, CHANGES IN WINDOW GLAZING / SIZE / ORIENTATION ETC. YOU WILL BE ADVISED OF ANY REQUIREMENTS OR ALTERNATIVES ONCE THE ASSESSMENT HAS BEEN COMPLETED.

BASIX AREAS

CONDITIONED AREA	190.76 m²
UNCONDITIONED AREA	15.27 m²

WATER RATINGS

SHOWER HEADS	3 STAR (> 7.5 BUT <= 9 L/MIN)
TOILET SUITES	4 STAR
KITCHEN TAPS	4 STAR
BATHROOM TAPS	5 STAR

WATER HARVESTING AND USAGE

TOTAL ROOF AREA	164.71 m²
MIN. WATER TANK CAPACITY	5033 L
MIN. ROOF AREA DIRECTED TO TANK(S)	254.25 m²
WATER TANK(S) CONNECTED TO	AT LEAST ONE OUTDOOR TAP ALL TOILETS WASHING MACHINE
GARDEN/LAWN AREA	99 m²

RECYCLED WATER

RETICULATED RECYCLED WATER	N/A
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ENERGY COMMITMENTS

HOT WATER SYSTEM	GAS CONTINUOUS FLOW 6 STAR
HEATING SYSTEM	1-PHASE REVERSE CYCLE AIR CONDITIONING COP 3.5 - 4.0
COOLING SYSTEM	1-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.0 - 3.5
CEILING FANS	5 - REFER TO FLOOR PLAN FOR LOCATIONS

VENTILATION (EXHAUST FANS)

AT LEAST ONE BATHROOM:
DUCTED TO OUTSIDE AIR, INTERLOCKED TO LIGHT/10 MIN. RUN-ON TIMER
KITCHEN RANGEHOOD:
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF
NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING (INCL. COVER)

N/A

NATURAL LIGHTING

NATURAL LIGHTING TO	KITCHEN 3 x BATHROOM(S)/TOILET(S)
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ALTERNATIVE ENERGY

PHOTOVOLTAIC SYSTEM	MIN. 7.92KW PEAK
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OTHER

GAS COOKTOP, ELECTRIC OVEN
FIXED OUTDOOR CLOTHESLINE BY OWNER
NO FIXED INDOOR CLOTHESLINE

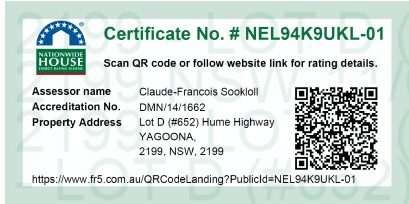
GRANNY FLAT SUSTAINABILITY

ENERGY COMMITMENTS	
HOT WATER SYSTEM	GAS CONTINUOUS FLOW 6 STAR
CEILING FANS	2 - REFER TO FLOOR PLAN FOR LOCATIONS
VENTILATION (EXHAUST FANS)	
BATHROOM: NO MECHANICAL VENTILATION TO BATHROOM	
KITCHEN RANGEHOOD: DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF	
LAUNDRY: DUCTED TO OUTSIDE AIR, INTERLOCKED TO LIGHT/10 MIN. RUN-ON TIMER	
NATURAL LIGHTING	
NATURAL LIGHTING TO	KITCHEN
ALTERNATIVE ENERGY	
N/A	
OTHER	
GAS COOKTOP, ELECTRIC OVEN	
FIXED OUTDOOR CLOTHESLINE BY BUILDER	
NO FIXED INDOOR CLOTHESLINE	

LOCATION MAP



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**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

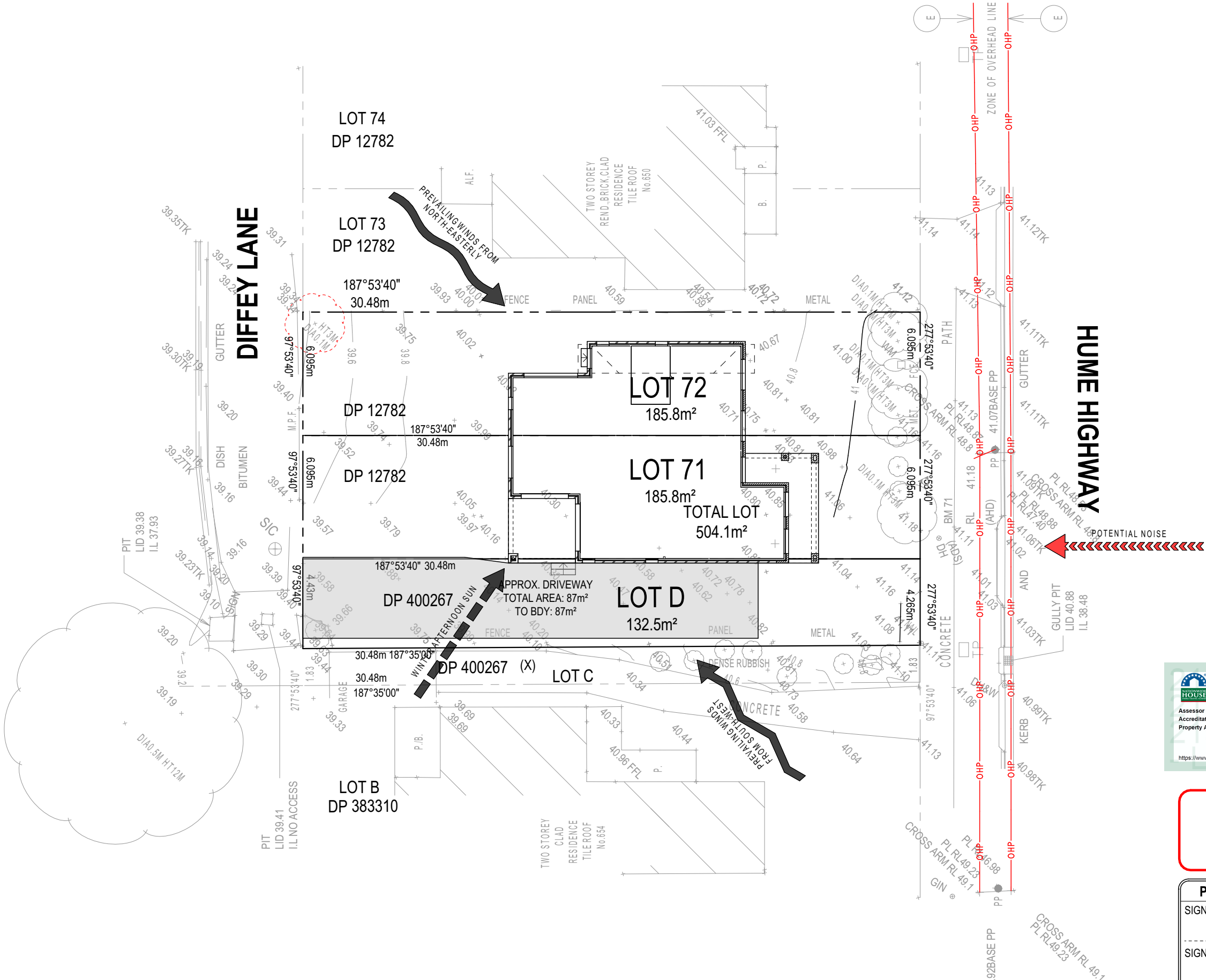
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mcdonald jones
FIND YOURSELF AT HOME

SPECIFICATION: NOW	REVISION	DRAWN	CLIENT: MS YEN THI KIM TRAN	HOUSE DESIGN: LURENTO TWO	HOUSE CODE: H-MNWLRO20DA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 607503
COPYRIGHT: © 2026	5 AMENDED AS PER PCV002	GB0 20/08/2025	ADDRESS: 652 HUME HIGHWAY, YAGOONA NSW 2199	FACADE DESIGN: WEBSTER	FACADE CODE: F-LROWBTR01	
	6 COLOURS APPLIED	LLE 22/08/2025	LOT / SECTION / DP: D / - / 400267	SHEET TITLE: COVER SHEET	SCALES: 1:100	
	7 AMENDED AS PER PCV08 - GRANNY FLAT REMOVED	LFL 11/12/2025	COUNCIL: CANTERBURY BANKSTOWN	SHEET No.: 1 / 24		
	8 PCV010 APPLIED (HYDRAULIC STAMP)	JCZ 13/01/2026				
	9 AMENDED AS PER PCV012	PRS 11/08/2026				





Certificate No. # NEL94K9UKL-01

Scan QR code or follow website link for rating details.

Assessor name

Accreditation No.

Property Address

Claude-Francois Sookloll

DMN/14/1662

Lot D (H652) Hume Highway

YAGOONA,

2199, NSW, 2199



<https://www.fr5.com.au/QRCode/Landing?Publicid=NEL94K9UKL-01>

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SPECIFICATION: NOW COPYRIGHT: © 2026	REVISION		DRAWN		CLIENT: MS YEN THI KIM TRAN ADDRESS: 652 HUME HIGHWAY, YAGOONA NSW 2199 LOT / SECTION / DP: D / - / 400267 COUNCIL: CANTERBURY BANKSTOWN	HOUSE DESIGN: LURENTO TWO FACADE DESIGN: WEBSTER SHEET TITLE: SITE ANALYSIS	HOUSE CODE: H-MNWLRO20DA FACADE CODE: F-LROWBTR01 SHEET No.: 2 / 24	HOUSE CODE: H-MNWLRO20DA FACADE CODE: F-LROWBTR01 SHEET No.: 2 / 24	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 607503
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

DRIVEWAY AND RETAINING WALLS BY OWNER UNLESS NOTED OTHERWISE IN THE SCOPE OF WORK AND/OR COLOUR SELECTIONS DOCUMENTATION.

PROPOSED TREES BY OWNER AFTER HANDOVER UNLESS NOTED OTHERWISE IN THE TENDER DOCUMENTATION.

APPROX. CUT/FILL		
CUT	35.30m³	79.43t
FILL	7.97m³	17.93t
DIFFERENCE	27.33m³	61.49t
61 TONNES OF EXPORT FILL		

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

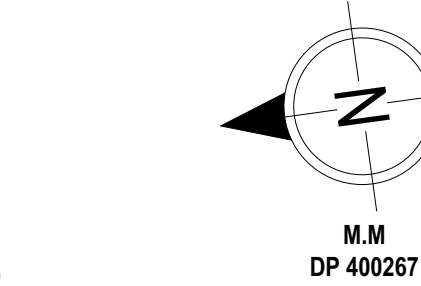
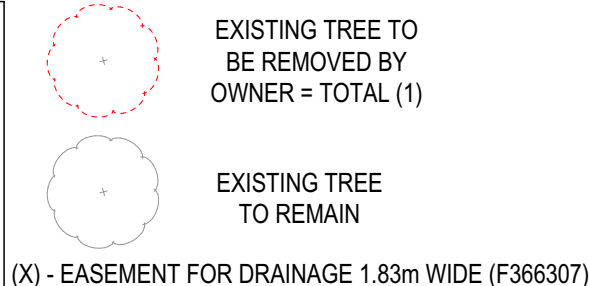
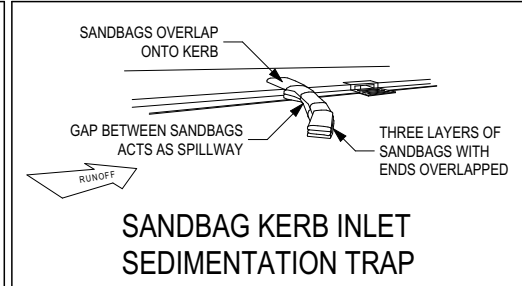
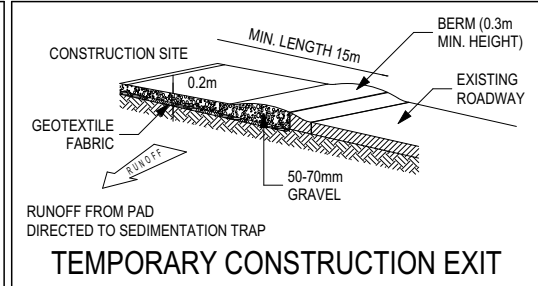
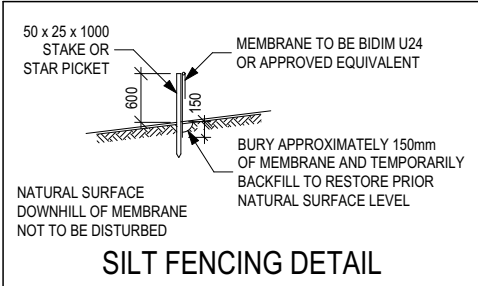
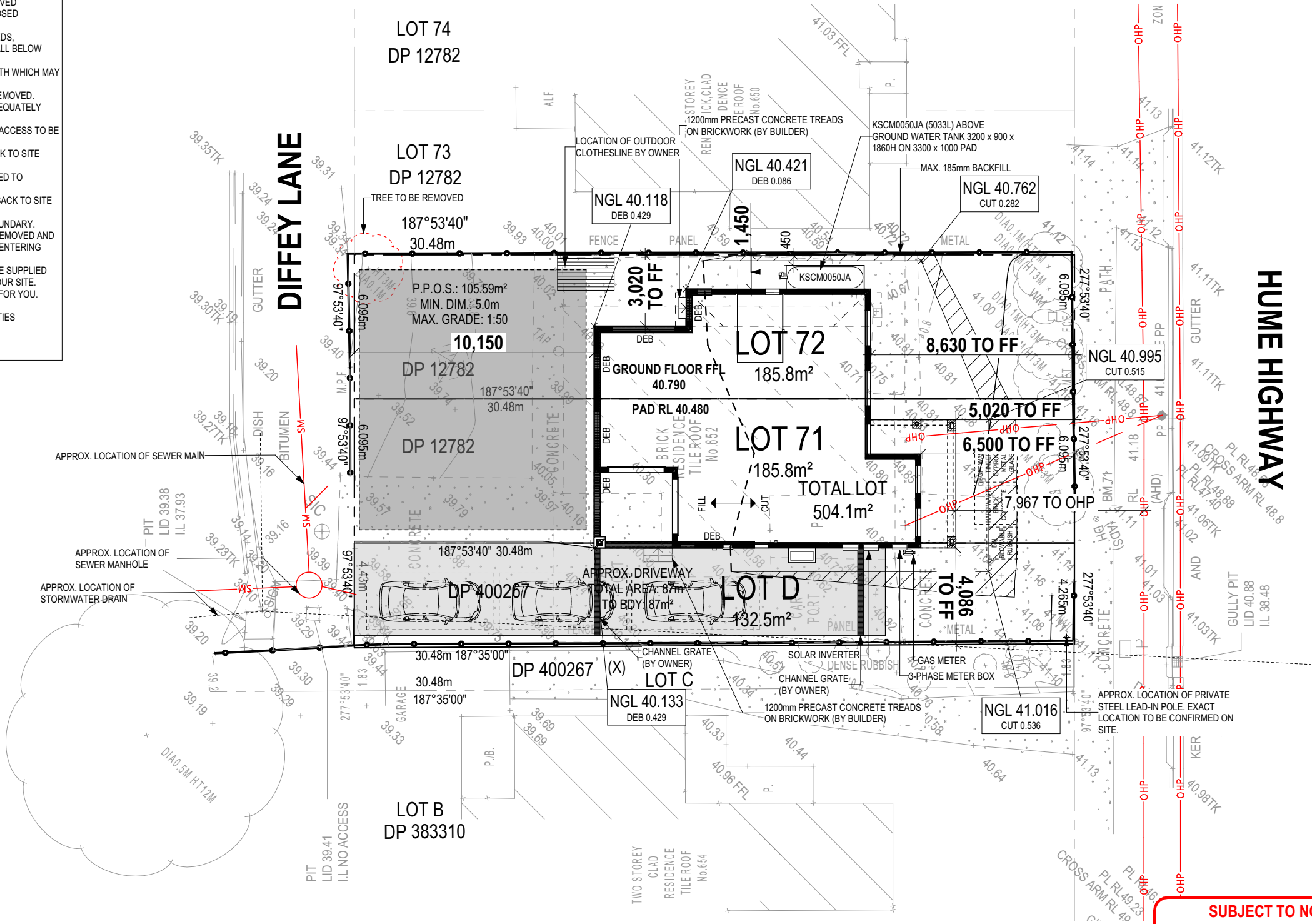
OWNERS ARE FULLY RESPONSIBLE FOR ENSURING THEY HAVE REMOVED ALL EXISTING STRUCTURES AND UTILITY SERVICES FROM THE PROPOSED CONSTRUCTION SITE I.E.:

- EXISTING HOUSE, CARPORT, SHED, PAVING, PATHS, GARDEN BEDS, DRIVEWAYS, SWIMMING POOL OR UNDERGROUND TANKS AND ALL BELOW GROUND FOOTING STRUCTURES.
- REMOVAL OF ANY TREES, STUMPS, BARK OR EXCESSIVE GROWTH WHICH MAY IMPACT ON CONSTRUCTION SITE ACCESS.
- ALL BUILDING MATERIALS OR WASTE ON SITE IS TO BE FULLY REMOVED. ANY DEPRESSIONS TO NATURAL GROUND LEVEL ARE TO BE ADEQUATELY FILLED.
- ANY EXCESS FILL WHICH MAY IMPACT ON CONSTRUCTION SITE ACCESS TO BE REMOVED.
- GAS METER AND ASSOCIATED PIPE WORK TO BE REMOVED BACK TO SITE BOUNDARY.
- ELECTRICAL METER AND ASSOCIATED SERVICES TO BE REMOVED TO AGREED SAFE DISTANCE (BOUNDARY/POLE).
- WATER METER AND ASSOCIATED PIPE WORK TO BE REMOVED BACK TO SITE BOUNDARY.
- TELEPHONE & DATA CABLES TO BE REMOVED BACK TO SITE BOUNDARY.
- EXISTING SITE SEWER & STORM WATER CONNECTIONS TO BE REMOVED AND CAPPED OFF TO PREVENT INCIDENCE OF BUILDING MATERIALS ENTERING THOSE SYSTEMS AND LEAVING YOUR SITE.
- ASBESTOS: A SITE CLEARANCE CERTIFICATE IS REQUIRED TO BE SUPPLIED TO US BY THE OWNER PRIOR TO US COMMENCING WORK ON YOUR SITE.
- YOUR DEMOLITION COMPANY SHOULD BE ABLE ARRANGE THIS FOR YOU.

PLEASE NOTE: RELEVANT DOCUMENTED REPORT EVIDENCE & PICTURES FROM PARTIES CARRYING OUT THESE SERVICES WILL BE REQUIRED TO ENSURE THE ABOVE ASPECTS HAVE BEEN COMPLETED EFFECTIVELY TO MEET BOTH OUR LEGAL & CONTRACT REQUIREMENTS.

DEMOLITION SHOWN DASHED

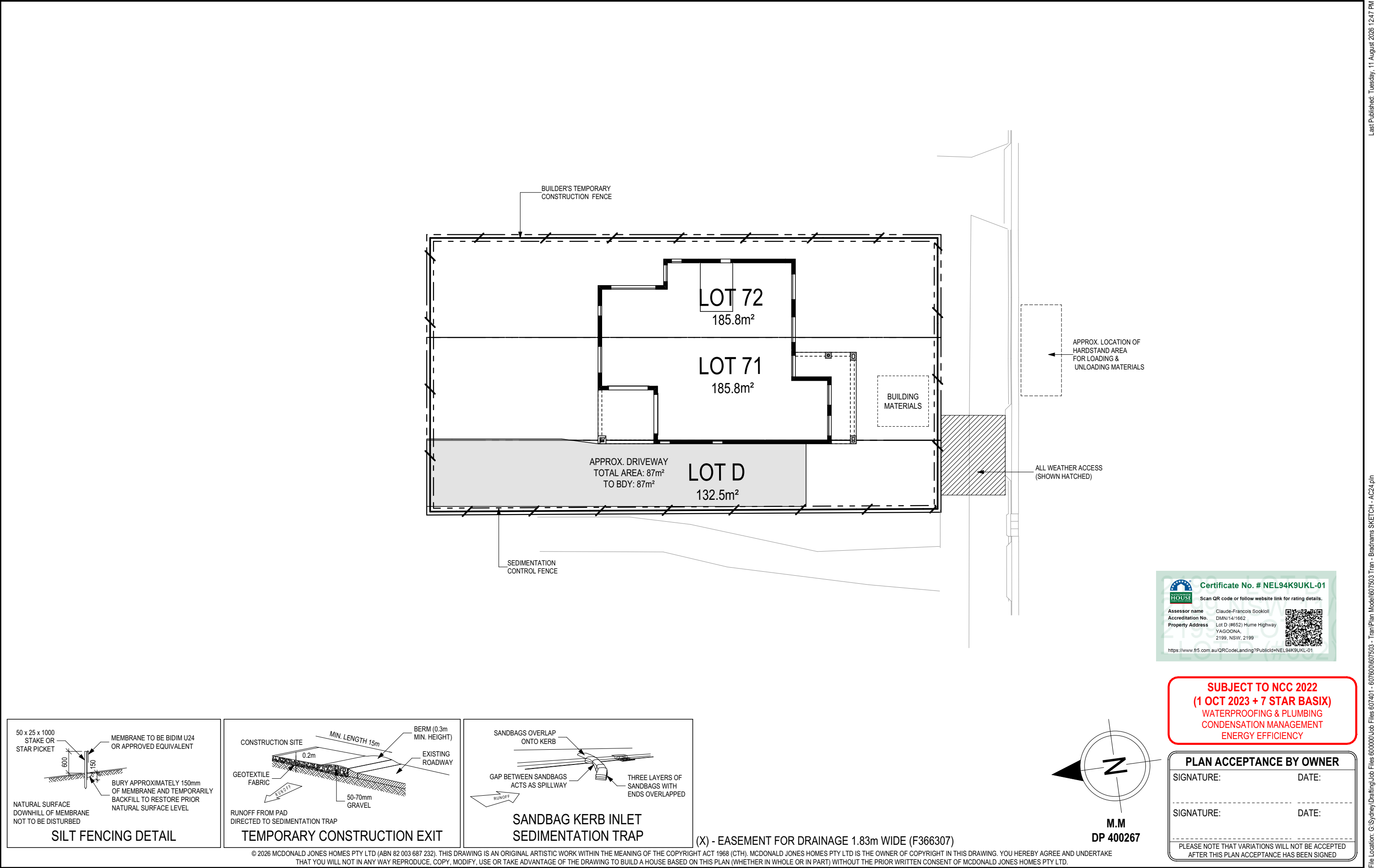
OVERHEAD POWER LINES ARE PRESENT



SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

 mcdonald jones FIND YOURSELF AT HOME	SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 607503
	NOW	5	AMENDED AS PER PCV002		GBO	20/08/2025	MS YEN THI KIM TRAN		LURENTO TWO		H-MNWLRO20DA		
	COPYRIGHT:	6	COLOURS APPLIED		LLE	22/08/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	© 2026	7	AMENDED AS PER PCV08 - GRANNY FLAT REMOVED		LFL	11/12/2025	652 HUME HIGHWAY, YAGOONA NSW 2199		WEBSTER		F-LROWBTR01		
		8	PCV010 APPLIED (HYDRAULIC STAMP)		JCZ	13/01/2026	LOT / SECTION / DP:		SHEET TITLE:		SHEET No.:	SCALES:	
		9	AMENDED AS PER PCV012		PRS	11/08/2026	D / - / 400267		CANTERBURY BANKSTOWN		3 / 24	1:200	



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		6	COLOURS APPLIED	LLE 22/08/2025	LOT / SECTION / DP: D / - / 400267	SHEET TITLE: SEDIMENT CONTROL PLAN		SHEET No.: 4 / 24	
		7	AMENDED AS PER PCV08 - GRANNY FLAT REMOVED	LFL 11/12/2025		SHEET No.: 4 / 24		SCALES: 1:200	
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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NOTE TO PLUMBER: ROOF WATER FROM COLLECTION AREAS

TO BE DIVERTED TO WATER TANK. BALANCE REAR. COLLECTION AREA = 254.25m²

ALL STORMWATER OVERFLOW OTHER THAN THAT BEING DIRECTED TO WATER TANK(S) TO BE DIRECTED REAR.

REFER TO STORMWATER DESIGN BY
ALW DESIGN STORMWATER
CONSULTANTS FOR STORMWATER
REQUIREMENTS
REFERENCE: SW25277 ISSUE B
DATED: 12/12/2025

LEGEND

WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS

TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY

ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)

ALL DRAINAGE LINES ARE FOR ROOF WATER / WATER TANK DRAINAGE ONLY

SDP

STANDARD DOWNPIPE

CDP

CHARGED DOWNPIPE

RECYCLED COLD WATER LINE

TANK COLD WATER LINE

WATER LINE TO MAIN SUPPLY

NON-CHARGED STORMWATER LINE

CHARGED STORMWATER LINE

WM

WASHING MACHINE

WC

TOILET

+

YARD TAP

(X) - EASEMENT FOR DRAINAGE 1.83m WIDE (F366307)

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Scan QR code or follow website link for rating details.

Assessor name

Claude-Francois Sookloll

Accreditation No.

DMN/14/1662

Property Address

Lot D (#652) Hume Highway
YAGOONA,
2199, NSW, 2199



<https://www.fr5.com.au/QRCodeLanding?PublicId=NEL94K9UKL-01>

SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE:

DATE:

SIGNATURE:

DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

 mcdonald jones FIND YOURSELF AT HOME	SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.		
	NOW	5	AMENDED AS PER PCV002		GBO	20/08/2025	MS YEN THI KIM TRAN		LURENTO TWO		H-MNWLRO20DA				
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	© 2026	7	AMENDED AS PER PCV08 - GRANNY FLAT REMOVED		LFL	11/12/2025	652 HUME HIGHWAY, YAGOONA NSW 2199		WEBSTER		F-LROWBTR01				
		8	PCV010 APPLIED (HYDRAULIC STAMP)		JCZ	13/01/2026	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:				
		9	AMENDED AS PER PCV012		PRS	11/08/2026	D / - / 400267		CANTERBURY BANKSTOWN		WATER MANAGEMENT PLAN (GF)		5 / 24	1:100, 1:49.03	607503

Template Version: 24_1038

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERTFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

NOTE TO PLUMBER: ROOF WATER FROM
COLLECTION AREAS



TO BE DIVERTED TO WATER TANK.
BALANCE REAR.
COLLECTION AREA = 254.25m²

ALL STORMWATER OVERFLOW OTHER
THAN THAT BEING DIRECTED TO WATER
TANK(S) TO BE DIRECTED REAR.

LEGEND

WATER PUMP IN ACC. WITH LOCAL WATER
AUTHORITY REQUIREMENTS

TANK CAPACITY TO BE MAINTAINED AT
MINIMUM 10% CAPACITY

ALL RECY. WATER TO BE IN APPROVED
COLOUR CODED PIPEWORK (PURPLE)

ALL DRAINAGE LINES ARE FOR ROOF
WATER / WATER TANK DRAINAGE ONLY

SDP



STANDARD DOWNPIPE

CDP



CHARGED DOWNPIPE

RECYCLED COLD
WATER LINE

TANK COLD
WATER LINE

WATER LINE TO
MAIN SUPPLY

NON-CHARGED

CHARGED

STORMWATER LI
WASHING MACHI

TOILET

YARD TAP

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The image shows a certificate from the National Fire Service. It features the National Fire Service logo on the left, which includes a stylized fire hydrant and the text 'NATIONAL FIRE SERVICE'. The certificate number 'Certificate No. # NEL94K9UKL-01' is prominently displayed at the top right. Below the number, there is a QR code and a URL: 'Scan QR code or follow website link for rating details.' The assessor's name 'Claude-Francois Sookioli' and the accreditation number 'DMIN-14/1662' are listed on the left. The property address 'Lot D (#652) Hume Highway YAGOONA, 2199, NSW, 2199' is also provided. A QR code is located on the right side of the certificate, and a URL 'https://www.nfs.com.au/QRCodeLanding?PubId=nel94k9ukl-01' is at the bottom.

**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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 McDonald Jones FIND YOURSELF AT HOME	SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
	NOW		5	AMENDED AS PER PCV002	GBO	20/08/2025	MS YEN THI KIM TRAN		LURENTO TWO		H-MNWLRO20DA			
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	© 2026		7	AMENDED AS PER PCV08 - GRANNY FLAT REMOVED	LFL	11/12/2025	652 HUME HIGHWAY, YAGOONA NSW 2199		WEBSTER		F-LROWBTR01			
			8	PCV010 APPLIED (HYDRAULIC STAMP)	JCZ	13/01/2026	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:			
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL EXTERIOR STEPS AND LANDINGS BY CUSTOMER UNLESS NOTED OTHERWISE

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2455 ABOVE FFL UNLESS NOTED OTHERWISE

ALL GROUND FLOOR INTERNAL DOORS TO BE 2340 HIGH UNLESS NOTED OTHERWISE (EXCLUDES CAVITY SLIDING DOORS)

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

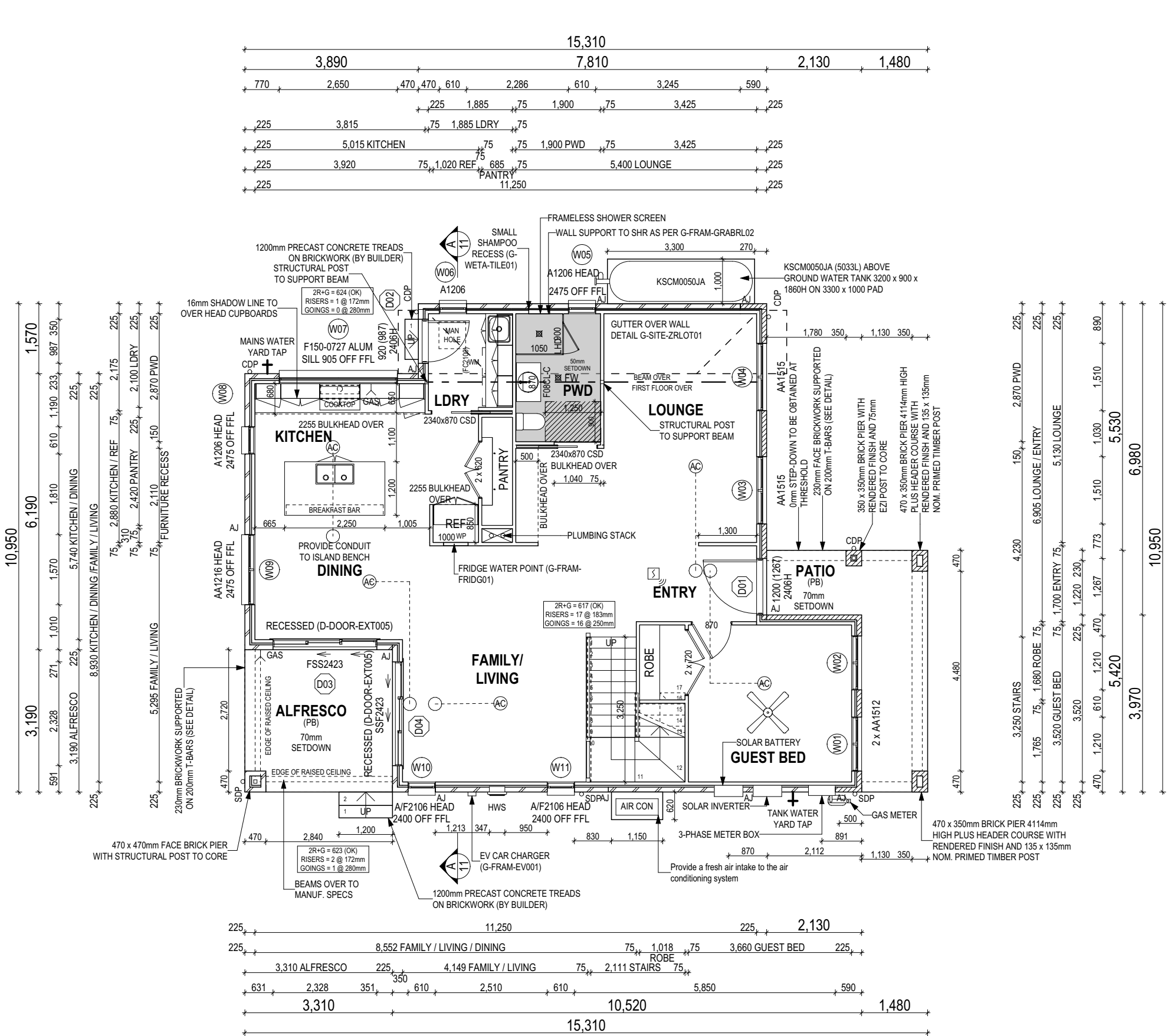
FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 2022 REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:

A
D
C
B

LEGEND		
HS / WS	HOB SPOUT / WALL SPOUT	
	COMMON BRICK	
	FACE BRICK	
	AAC	
	SOUND INSULATION	
AJ	BRICK ARTICULATION JOINT	
SDP	STANDARD DOWNPIPE	
CDP	CHARGED DOWNPIPE	
	EXHAUST FAN	
	EXHAUST VENT	
L.B.W	LOAD BEARING WALL	
	THIS DOOR OPENS FIRST	
	INTERCONNECTED SMOKE ALARM	
# UC	LIFT OFF HINGE / UNDERCUT	
+	WATER POINT	
WP	FRIDGE WATER POINT	
GAS	GAS BAYONET	



ALL DIMENSIONS ARE FRAME DIMENSIONS

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PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



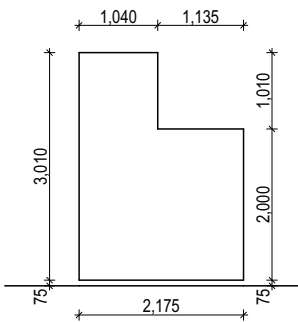
SUBJECT TO NCC 2022
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WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER	
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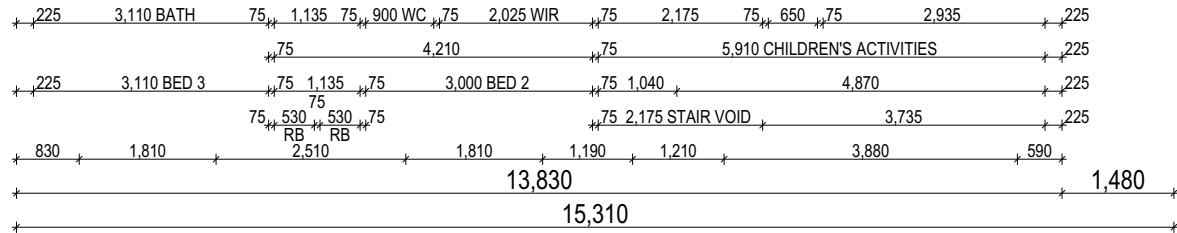
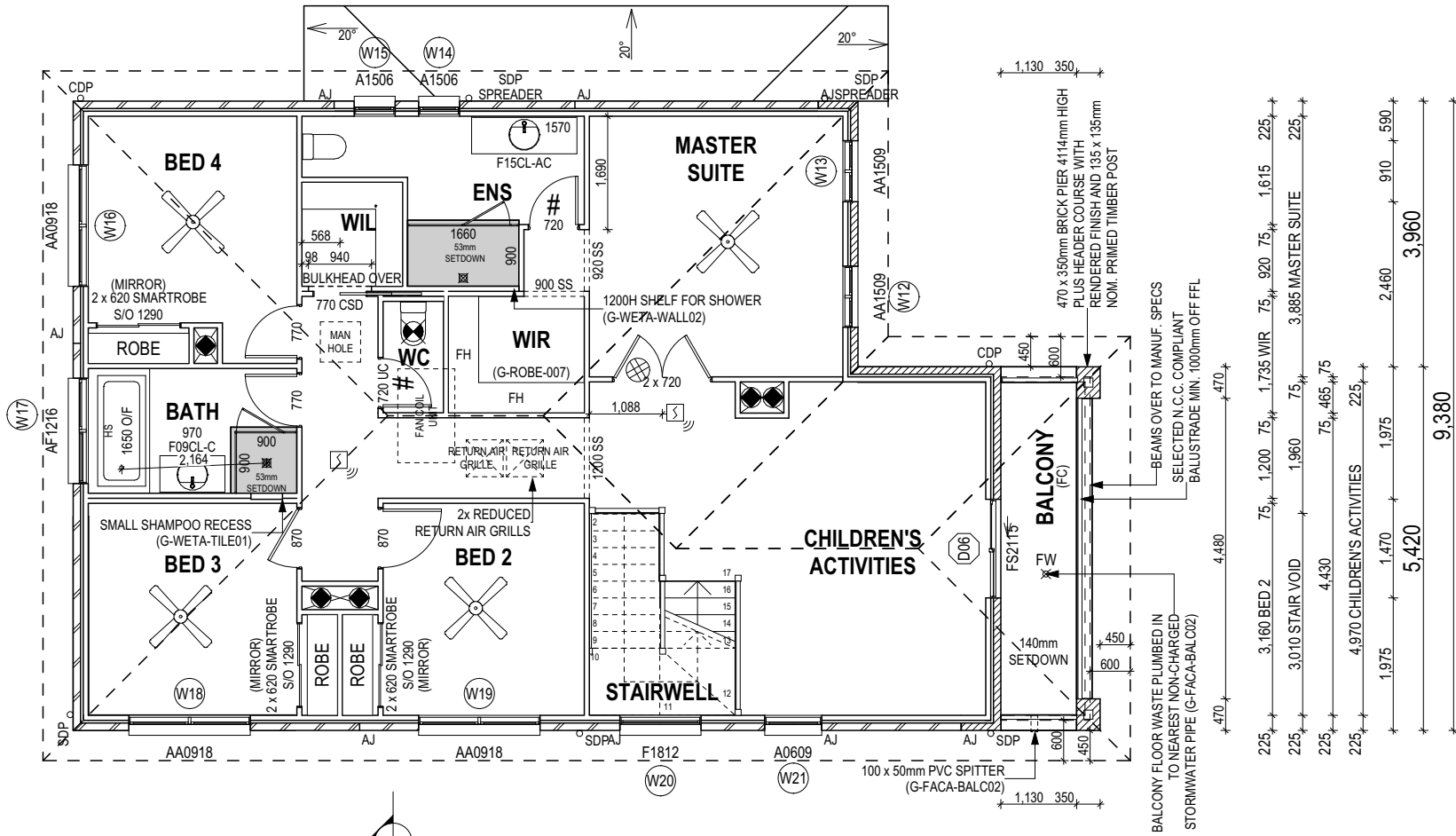
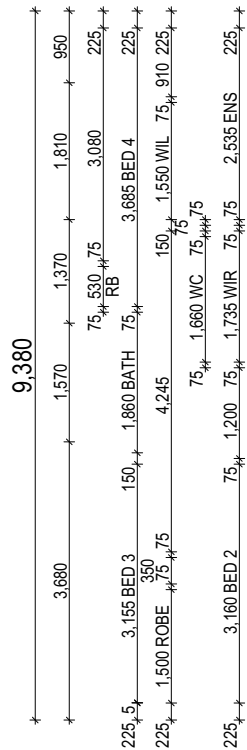
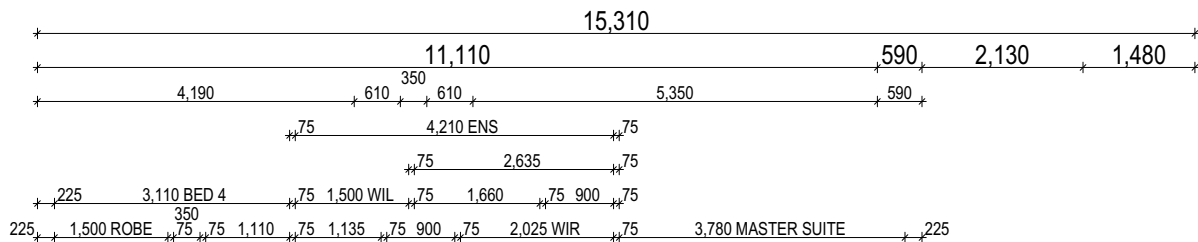


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		8	PCV010 APPLIED (HYDRAULIC STAMP)	JCZ	13/01/2026	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
		9	AMENDED AS PER PCV012	PRS	11/08/2026	D / - / 400267	CANTERBURY BANKSTOWN	GROUND FLOOR PLAN	7 / 24	1:100	607503	

UNLESS NOTED OTHERWISE
ALL ROOMS ARE REFERENCED
AS FOLLOWS:



STAIR VOID DETAIL



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Technical drawing of a rectangular cutout with dimensions:

- Overall width: 915
- Overall height: 1,860
- Cutout width: 615
- Cutout height: 1,580
- Top spacing: 75 (left), 765 (center), 75 (right)
- Bottom spacing: 190 (left), 615 (center), 110 (right)
- Left spacing: 75 (top), 1,710 (center), 140 (bottom)
- Right spacing: 140 (top), 1,580 (center), 140 (bottom)

BATH HOB DETAIL
1650 BASE
FRAME 530 HIGH



Certificate No. # NEL94K9UKL-01

Scan QR code or follow website link for rating details.

Assessor name Claude-Francois Sookioli

Accreditation No. DMN14/1662

Property Address Lot D (R652) Hume Highway
YAGOONA
2119, NSW, 2119



<https://www.fr5.com.au/QRCodeLanding?PublicId=NEL94K9UKL-01>

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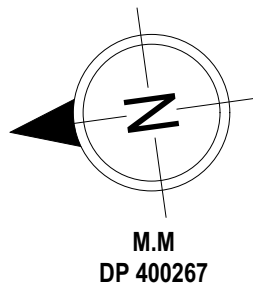
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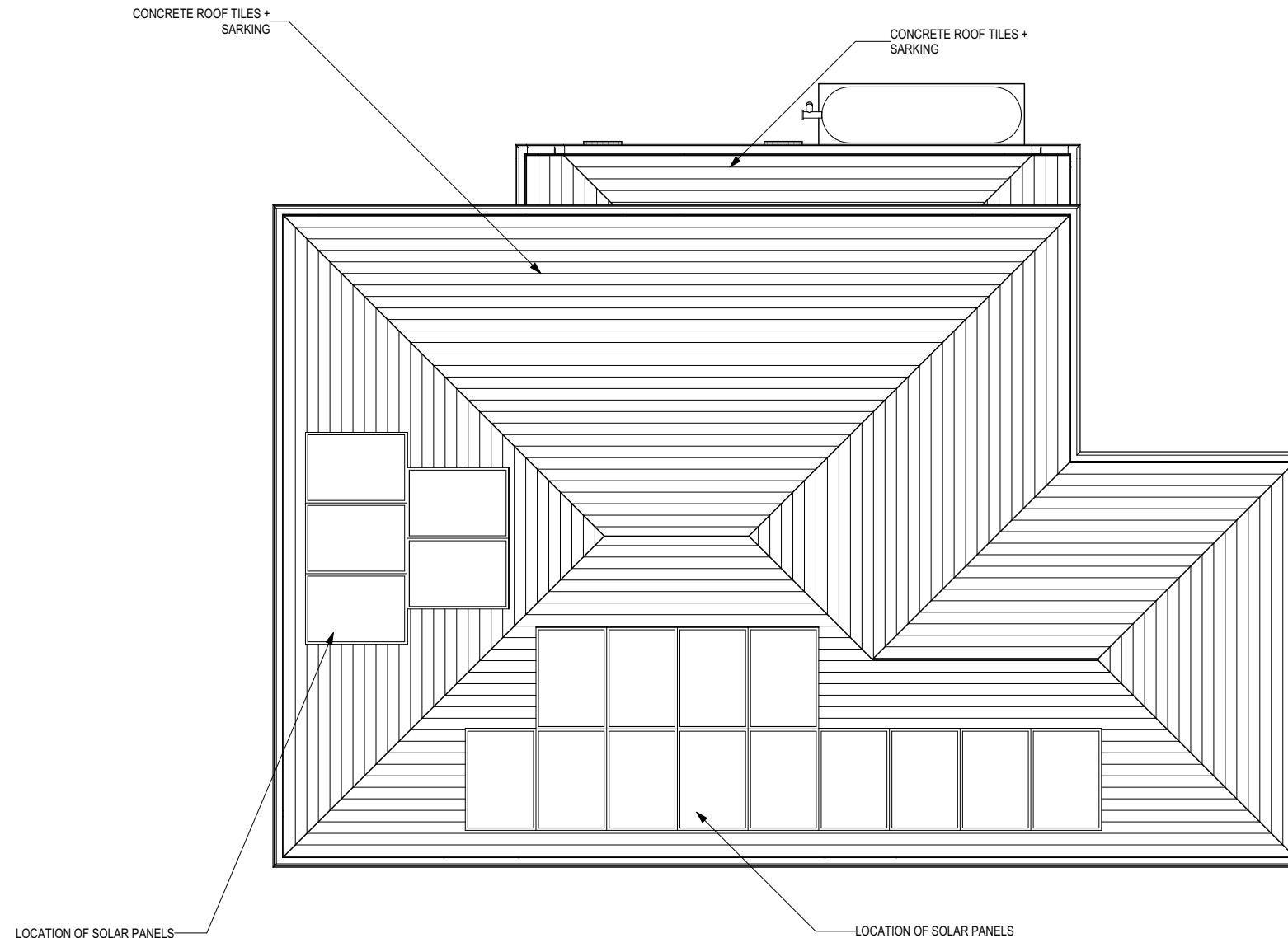
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DISCREPANCIES TO BE REPORTED
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607503

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	9	AMENDED AS PER PCV012	PRS 11/08/2026	D / - / 400267	COUNCIL:	SCALES:	607503
				CANTERBURY BANKSTOWN	FIRST FLOOR PLAN	8 / 24	



M.M
DP 400267



ROOF PLAN
SCALE: 1:100



**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIS)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY**

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	9	AMENDED AS PER PCV012	PRS 11/08/2026	D / - / 400267	COUNCIL:	SCALES:	607503
					CANTERBURY BANKSTOWN	ROOF PLAN	

Last Published: Tuesday, 11 August 2026 12:48 PM

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Template Version: 24.038

EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE													MANUFACTURER: BRADNAMS (NSW)		
STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE	ADDITIONAL INFORMATION²
WINDOW															
GROUND FLOOR	W01	AA1512	AWNING	GUEST BED	1,460	1,210	5,340	1.77	ALUMINIUM	N/A	SNAP HEADER	S	1.28	CLEAR, DOUBLE GLAZED	MP 605, ACOUSTIC REQUIREMENTS (RW 37 achieved using laminate/float)
GROUND FLOOR	W02	AA1512	AWNING	GUEST BED	1,460	1,210	5,340	1.77	ALUMINIUM	N/A	SNAP HEADER	S	1.28	CLEAR, DOUBLE GLAZED	MP 605, ACOUSTIC REQUIREMENTS (RW 37 achieved using laminate/float)
GROUND FLOOR	W03	AA1460x1510	SPECIAL	LOUNGE	1,460	1,510	5,940	2.20	ALUMINIUM	N/A	SNAP HEADER	S	1.67	CLEAR, DOUBLE GLAZED	MP 755, ACOUSTIC REQUIREMENTS (RW 37 achieved using laminate/float)
GROUND FLOOR	W04	AA1460x1510	SPECIAL	LOUNGE	1,460	1,510	5,940	2.20	ALUMINIUM	N/A	SNAP HEADER	S	1.67	CLEAR, DOUBLE GLAZED	MP 755, ACOUSTIC REQUIREMENTS (RW 37 achieved using laminate/float)
GROUND FLOOR	W05	A1206	AWNING	PWD	1,200	610	3,620	0.73	ALUMINIUM	N/A	ANGLED	E	0.52	SATINLITE, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W06	A1206	AWNING	LDRY	1,200	610	3,620	0.73	ALUMINIUM	N/A	ANGLED	E	0.52	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W07	F150-0727	FIXED	KITCHEN	727	2,650	6,754	1.93	ALUMINIUM	N/A	ANGLED	E	1.69	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W08	A1206	AWNING	KITCHEN	1,200	610	3,620	0.73	ALUMINIUM	N/A	ANGLED	N	0.52	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W09	AA1216	AWNING	DINING	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	ANGLED	N	1.41	CLEAR, DOUBLE GLAZED	MP 785
GROUND FLOOR	W10	A/F2106	AWNING	FAMILY / LIVING	2,060	610	5,340	1.26	ALUMINIUM	N/A	ANGLED	W	0.93	CLEAR, DOUBLE GLAZED	BP 600, ACOUSTIC REQUIREMENTS (RW31 achieved using Float)
GROUND FLOOR	W11	A/F2106	AWNING	FAMILY / LIVING	2,060	610	5,340	1.26	ALUMINIUM	N/A	ANGLED	W	0.93	CLEAR, DOUBLE GLAZED	BP 600, ACOUSTIC REQUIREMENTS (RW31 achieved using Float)
FIRST FLOOR	W12	AA1460x910	SPECIAL	MASTER SUITE	1,460	910	4,740	1.33	ALUMINIUM	N/A	SNAP HEADER	S	0.88	CLEAR, DOUBLE GLAZED	MP 455, ACOUSTIC REQUIREMENTS (RW 37 achieved using laminate/float)
FIRST FLOOR	W13	AA1460x910	SPECIAL	MASTER SUITE	1,460	910	4,740	1.33	ALUMINIUM	N/A	SNAP HEADER	S	0.88	CLEAR, DOUBLE GLAZED	MP 455, ACOUSTIC REQUIREMENTS (RW 37 achieved using laminate/float)
FIRST FLOOR	W14	A1506	AWNING	ENS	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	E	0.64	SATINLITE, DOUBLE GLAZED, TOUGHENED	
FIRST FLOOR	W15	A1506	AWNING	ENS	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	E	0.64	SATINLITE, DOUBLE GLAZED, TOUGHENED	
FIRST FLOOR	W16	AA0918	AWNING	BED 4	860	1,810	5,340	1.56	ALUMINIUM	N/A	ANGLED	N	1.14	CLEAR, DOUBLE GLAZED	MP 905
FIRST FLOOR	W17	AF1216	AWNING	BATH	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	ANGLED	N	1.51	SATINLITE, DOUBLE GLAZED, TOUGHENED	MP 785
FIRST FLOOR	W18	AA0918	AWNING	BED 3	860	1,810	5,340	1.56	ALUMINIUM	N/A	ANGLED	W	1.14	CLEAR, DOUBLE GLAZED	MP 905, ACOUSTIC REQUIREMENTS (RW34 achieved using float)
FIRST FLOOR	W19	AA0918	AWNING	BED 2	860	1,810	5,340	1.56	ALUMINIUM	N/A	ANGLED	W	1.14	CLEAR, DOUBLE GLAZED	MP 905, ACOUSTIC REQUIREMENTS (RW 34 achieved using float)
FIRST FLOOR	W20	F1812	FIXED	STAIRWELL	1,800	1,210	6,020	2.18	ALUMINIUM	N/A	ANGLED	W	1.97	CLEAR, DOUBLE GLAZED, TOUGHENED	
FIRST FLOOR	W21	A0609	AWNING	CHILDREN'S ACTIVITIES	600	850	2,900	0.51	ALUMINIUM	N/A	ANGLED	W	0.34	TRANSLUCENT, DOUBLE GLAZED	ACOUSTIC REQUIREMENTS (RW 37 achieved using laminate/float)
								30.15					22.70		
DOOR															
GROUND FLOOR	D01	1200	SWINGING	ENTRY	2,406	1,267	7,346	3.05	TIMBER	N/A	SNAP HEADER	S	---	DOOR(S): N/A - SIDELIGHT(S): N/A	LEAF SIZE: 2340 x 1200mm
GROUND FLOOR	D02	920	SWINGING	LDRY	2,406	987	6,786	2.37	TIMBER	N/A	SNAP HEADER	N	---	DOOR(S): N/A - SIDELIGHT(S): N/A	LEAF SIZE: 2340 x 920mm
GROUND FLOOR	D03	FSS2423	STACKER	DINING	2,400	2,328	9,456	5.59	ALUMINIUM	N/A	SNAP HEADER	W	4.88	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	D04	SSF2423	STACKER	FAMILY / LIVING	2,400	2,328	9,456	5.59	ALUMINIUM	N/A	SNAP HEADER	N	4.88	CLEAR, DOUBLE GLAZED, TOUGHENED	
FIRST FLOOR	D06	FS2115	SLIDING	CHILDREN'S ACTIVITIES	2,100	1,470	7,140	3.09	ALUMINIUM	N/A	SNAP HEADER	S	2.63	CLEAR, DOUBLE GLAZED, TOUGHENED	ACOUSTIC REQUIREMENTS (RW37 achieved using secondary glazed)
								19.69					12.39		
								49.84					35.09		

INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	2 x 620	SWINGING	2,340	1,240	N/A	
GROUND FLOOR	1	2 x 720	SWINGING	2,340	1,440	N/A	
GROUND FLOOR	2	2340x870 CSD	CAVITY SLIDING	2,340	870	N/A	
GROUND FLOOR	1	870	SWINGING	2,340	870	N/A	
FIRST FLOOR	1	1200 SS	SQUARE SET OPENING	2,155	1,200	N/A	
FIRST FLOOR	3	2 x 620 SMARTROBE	SMARTROBE SLIDING	2,040	1,260	N/A	MIRROR
FIRST FLOOR	1	2 x 720	SWINGING	2,040	1,440	N/A	
FIRST FLOOR	1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
FIRST FLOOR	1	720 UC	SWINGING	2,040	720	N/A	20mm UNDERCUT, LIFT-OFF HINGES
FIRST FLOOR	2	770	SWINGING	2,040	770	N/A	
FIRST FLOOR	1	770 CSD	CAVITY SLIDING	2,040	770	N/A	
FIRST FLOOR	2	870	SWINGING	2,040	870	N/A	
FIRST FLOOR	1	900 SS	SQUARE SET OPENING	2,155	900	N/A	
FIRST FLOOR	1	920 SS	SQUARE SET OPENING	2,155	920	N/A	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

PICTURE, TV RECESS AND SS WINDOW OPENINGS				
QTY	TYPE	HEIGHT	WIDTH	AREA (m²)



Certificate No. # NEL94K9UKL-01

Scan QR code or follow website link for rating details.

Assessor name

Accreditation No.

Property Address

Claude-Francois Sookioli

DMN/14/1662

Lot D (#652) Hume Highway

YAGOONA,

2199, NSW, 2199



<https://www.fr5.com.au/QRCodeLanding?PublicId=NEL94K9UKL-01>

SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE:

DATE:

SIGNATURE:

DATE:

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5

AMENDED AS PER PCV002

GBO

20/08/2025

6

COLOURS APPLIED

LLE

22/08/2025

7

AMENDED AS PER PCV08 - GRANNY FLAT REMOVED

LFL

11/12/2025

8

PCV010 APPLIED (HYDRAULIC STAMP)

JCZ

13/01/2026

9

AMENDED AS PER PCV012

PRS

11/08/2026

CLIENT:
MS YEN THI KIM TRAN

ADDRESS:
652 HUME HIGHWAY, YAGOONA NSW 2199

LOT / SECTION / DP:
D / - / 400267

COUNCIL:
CANTERBURY BANKSTOWN

HOUSE DESIGN:
LURENTO TWO

FACADE DESIGN:
WEBSTER

SHEET TITLE:
WINDOW & DOOR SCHEDULES

SHEET No.:
10 / 24

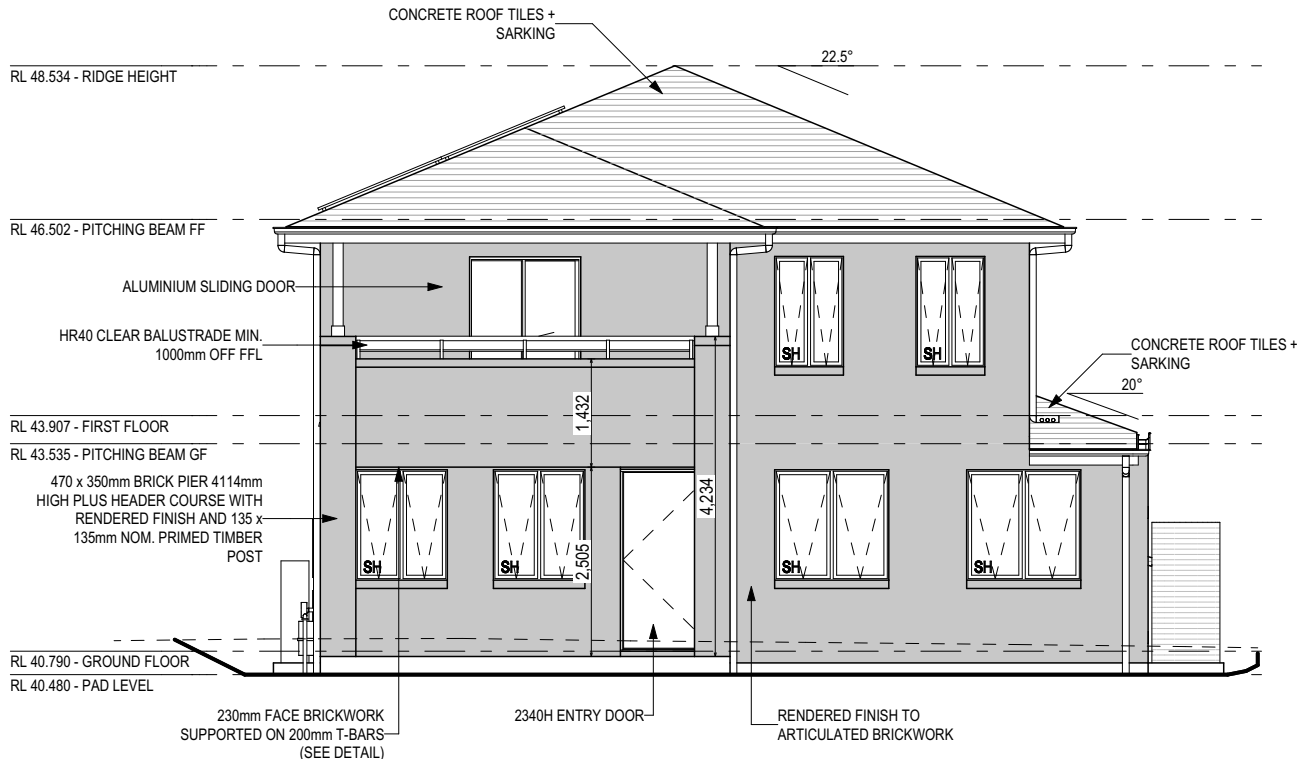
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H-MNWLRO20DA

FACADE CODE:
F-LROWBTR01

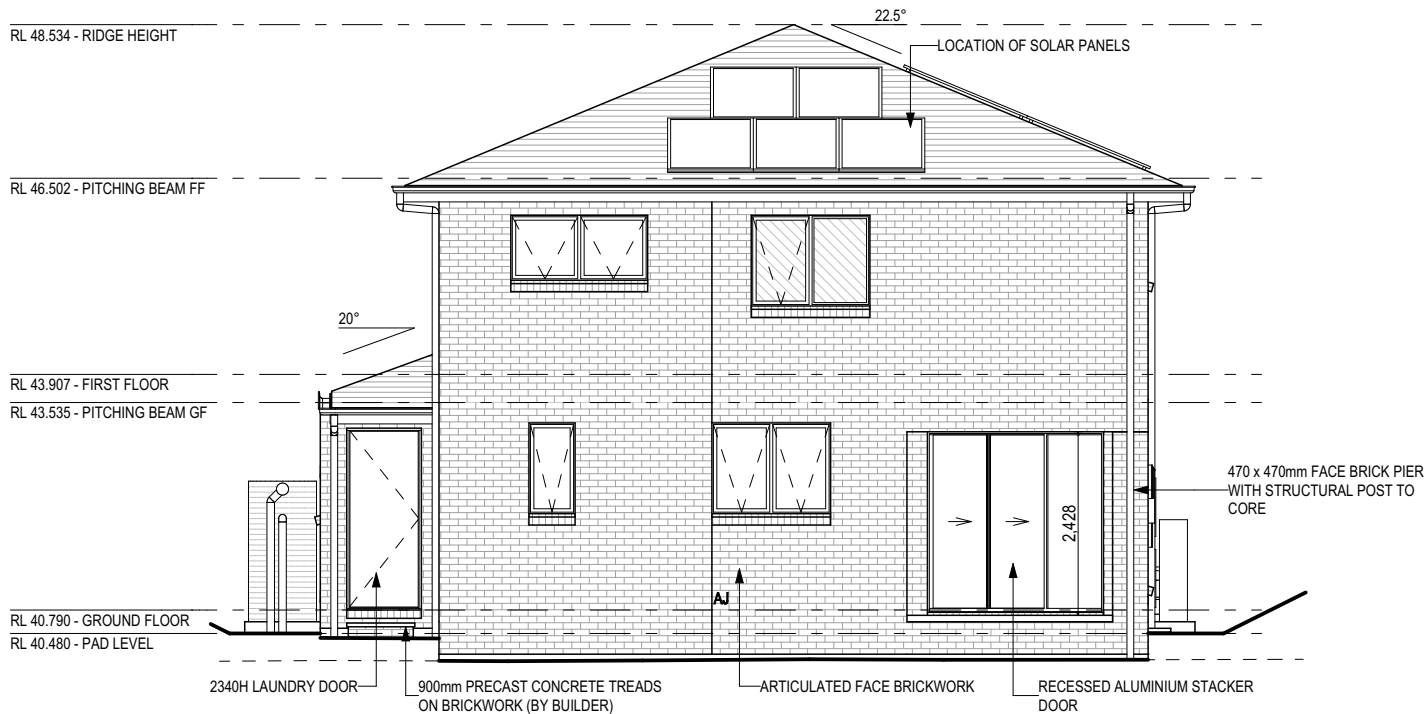
SCALES:

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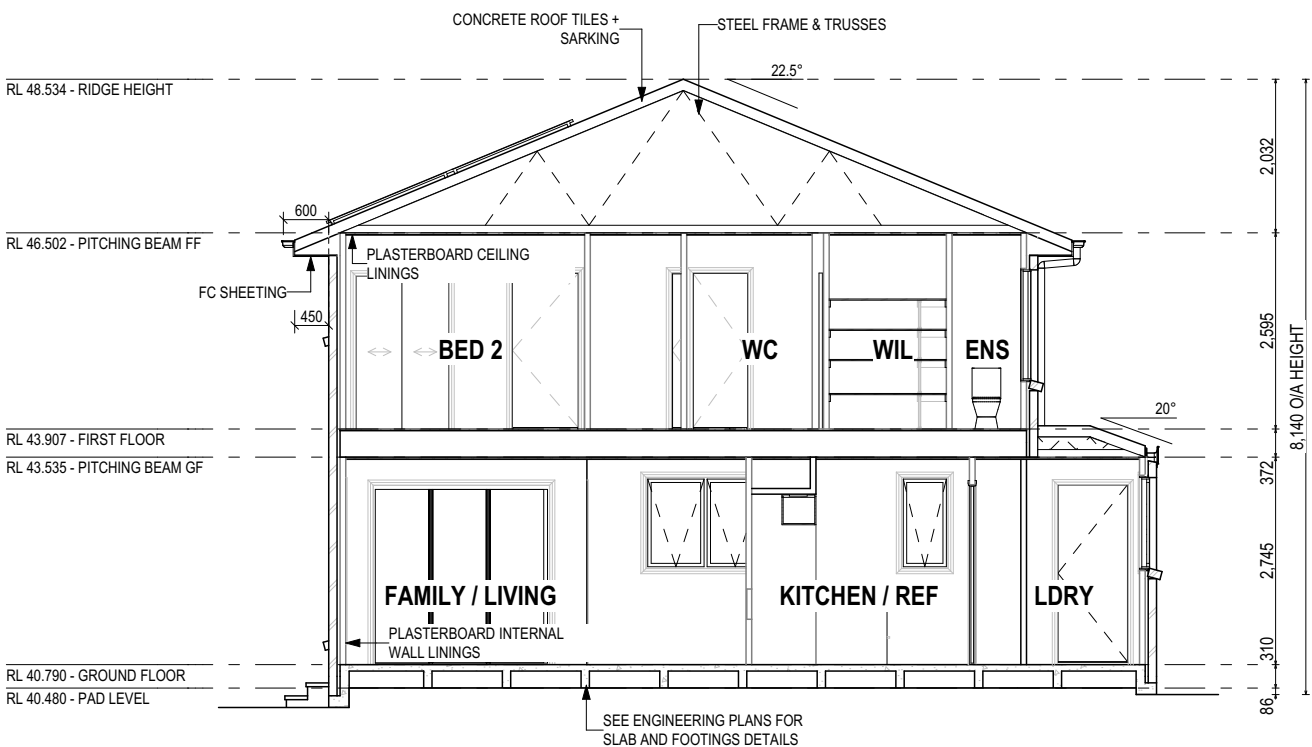
607503



FRONT ELEVATION (SOUTH)
SCALE: 1:100



REAR ELEVATION (NORTH)
SCALE: 1:100



SECTION A-A
SCALE: 1:100



**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY**

GLASS TYPE LEGEND	
	CLEAR
	OBSCURE

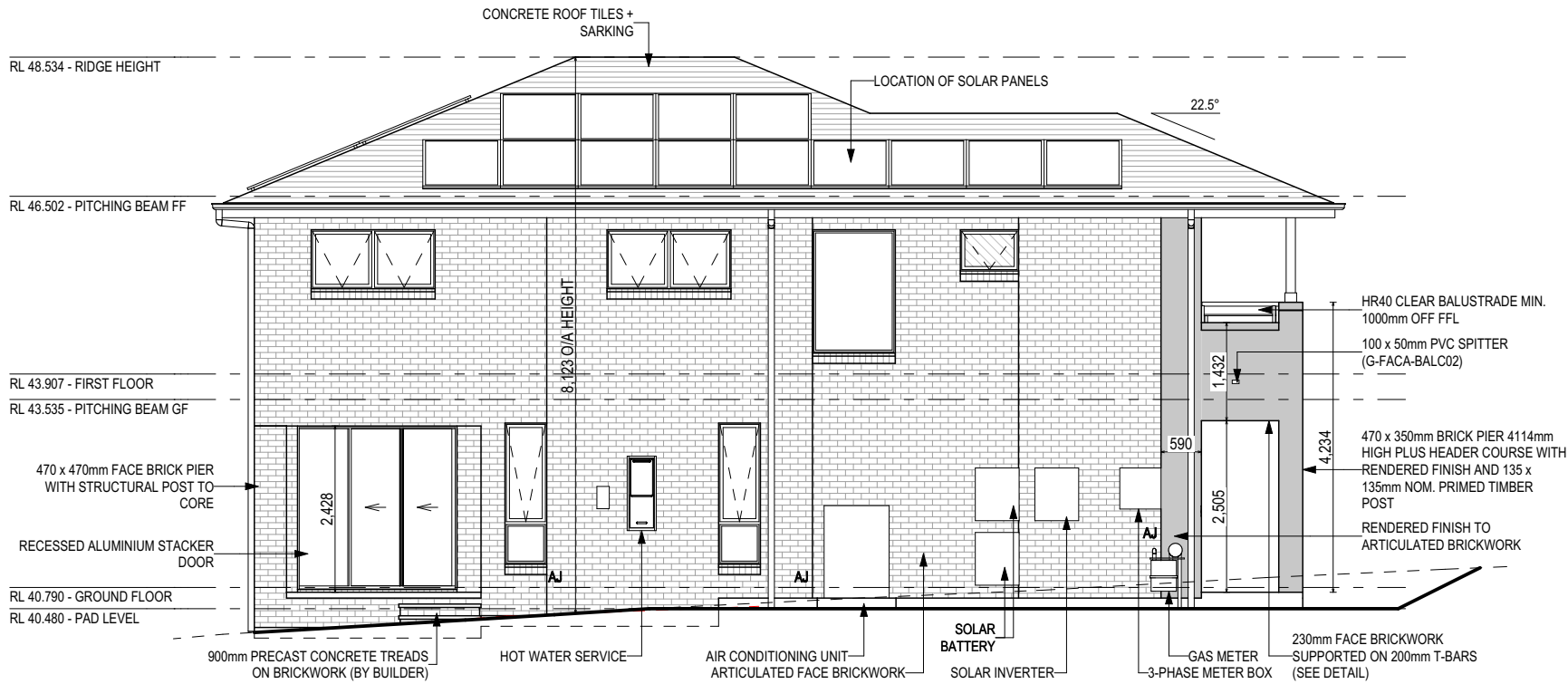
WINDOW TYPE LEGEND				
AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

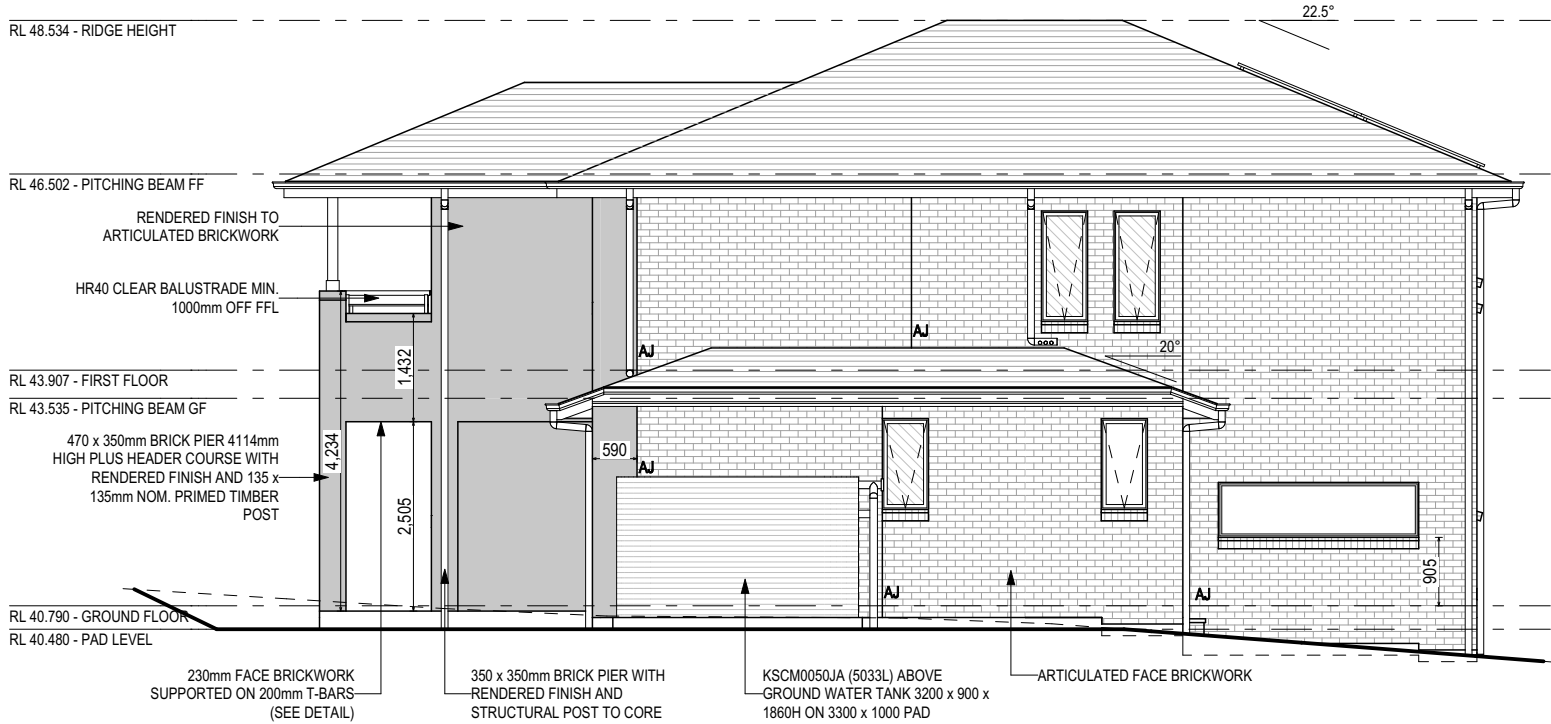
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SPECIFICATION: NOW COPYRIGHT: © 2026	REVISION		DRAWN		CLIENT: MS YEN THI KIM TRAN ADDRESS: 652 HUME HIGHWAY, YAGOONA NSW 2199 LOT / SECTION / DP: D / - / 400267 COUNCIL: CANTERBURY BANKSTOWN	HOUSE DESIGN: LURENTO TWO FACADE DESIGN: WEBSTER SHEET TITLE: ELEVATIONS / SECTION	SHEET No.: 11 / 24	HOUSE CODE: H-MNWLRO20DA FACADE CODE: F-LROWBTR01 SCALES: 1:100	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 607503
	5	AMENDED AS PER PCV002	GB0	20/08/2025					
	6	COLOURS APPLIED	LLE	22/08/2025					
	7	AMENDED AS PER PCV08 - GRANNY FLAT REMOVED	LFL	11/12/2025					
	8	PCV010 APPLIED (HYDRAULIC STAMP)	JCZ	13/01/2026					
	9	AMENDED AS PER PCV012	PRS	11/08/2026					

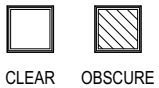


LEFT ELEVATION (WEST)
SCALE: 1:100

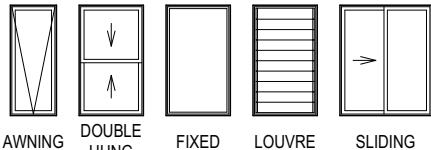


RIGHT ELEVATION (EAST)
SCALE: 1:100

GLASS TYPE LEGEND



WINDOW TYPE LEGEND

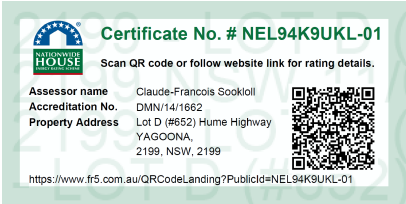


PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

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**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY**

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7	AMENDED AS PER PCV08 - GRANNY FLAT REMOVED
8	PCV010 APPLIED (HYDRAULIC STAMP)
9	AMENDED AS PER PCV012

DRAWN

GB0	20/08/2025
LLE	22/08/2025
LFL	11/12/2025
JCZ	13/01/2026
PRS	11/08/2026

CLIENT:

MS YEN THI KIM TRAN

ADDRESS:

652 HUME HIGHWAY, YAGOONA NSW 2199

LOT / SECTION / DP:

D / - / 400267

COUNCIL:

CANTERBURY BANKSTOWN

HOUSE DESIGN:

LURENTO TWO

FACADE DESIGN:

WEBSTER

SHEET TITLE:

ELEVATIONS

SHEET No.:

12 / 24

HOUSE CODE:

H-MNWLRO20DA

FACADE CODE:

F-LROWBTR01

SCALES:

1:100

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607503



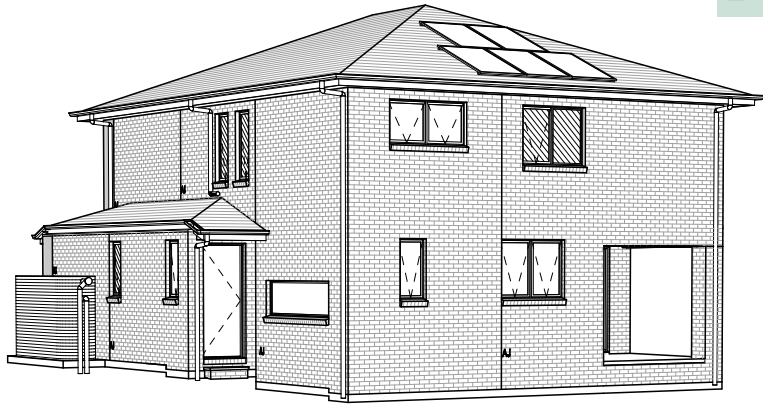
FRONT LEFT



FRONT RIGHT



REAR LEFT

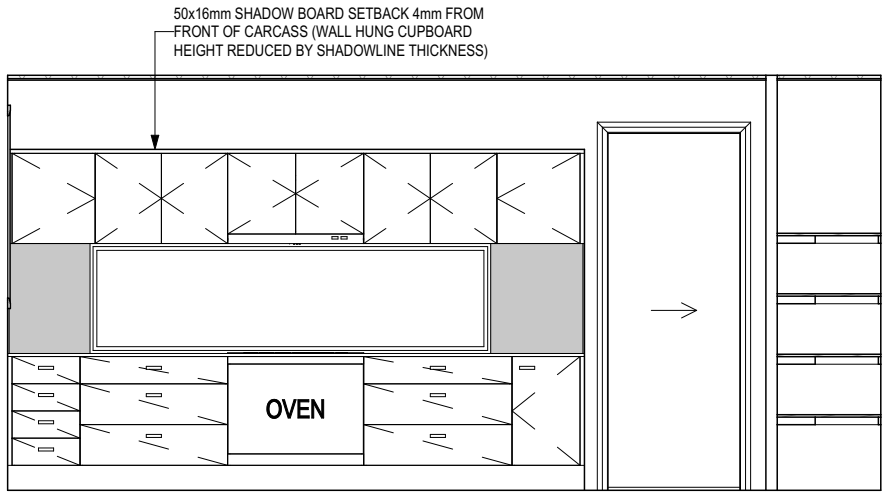


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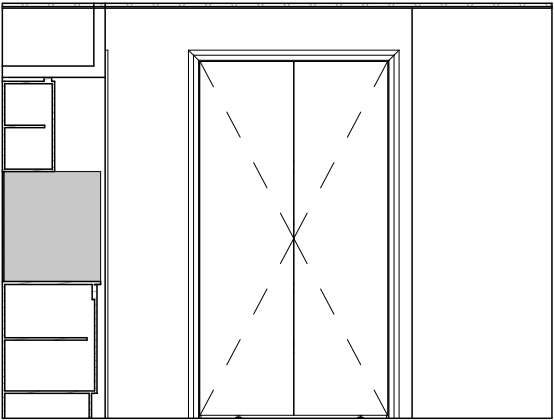


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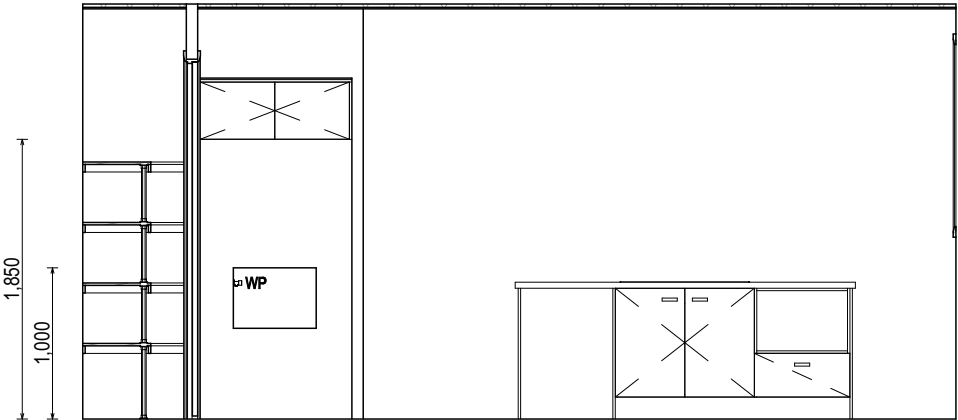
 mcdonald jones FIND YOURSELF AT HOME	SPECIFICATION: NOW		REVISION	DRAWN	CLIENT: MS YEN THI KIM TRAN	HOUSE DESIGN: LURENTO TWO	HOUSE CODE: H-MNWLRO20DA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 607503
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			6 COLOURS APPLIED	LLE 22/08/2025	LOT / SECTION / DP:	SHEET TITLE: HOUSE EXTERIOR 3D VIEWS	SHEET No.: 13 / 24	
			7 AMENDED AS PER PCV08 - GRANNY FLAT REMOVED	LFL 11/12/2025	COUNCIL: CANTERBURY BANKSTOWN		SCALES:	
			8 PCV010 APPLIED (HYDRAULIC STAMP)	JCZ 13/01/2026				
			9 AMENDED AS PER PCV012	PRS 11/08/2026				



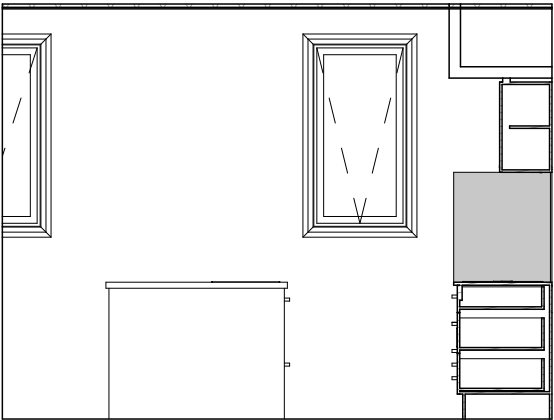
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SCALE: 1:50



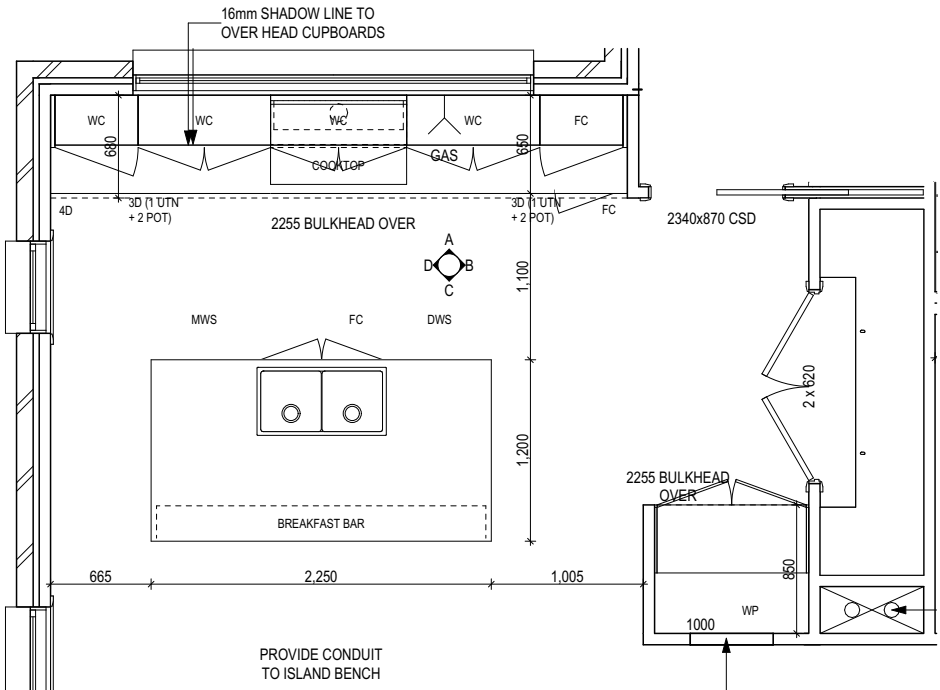
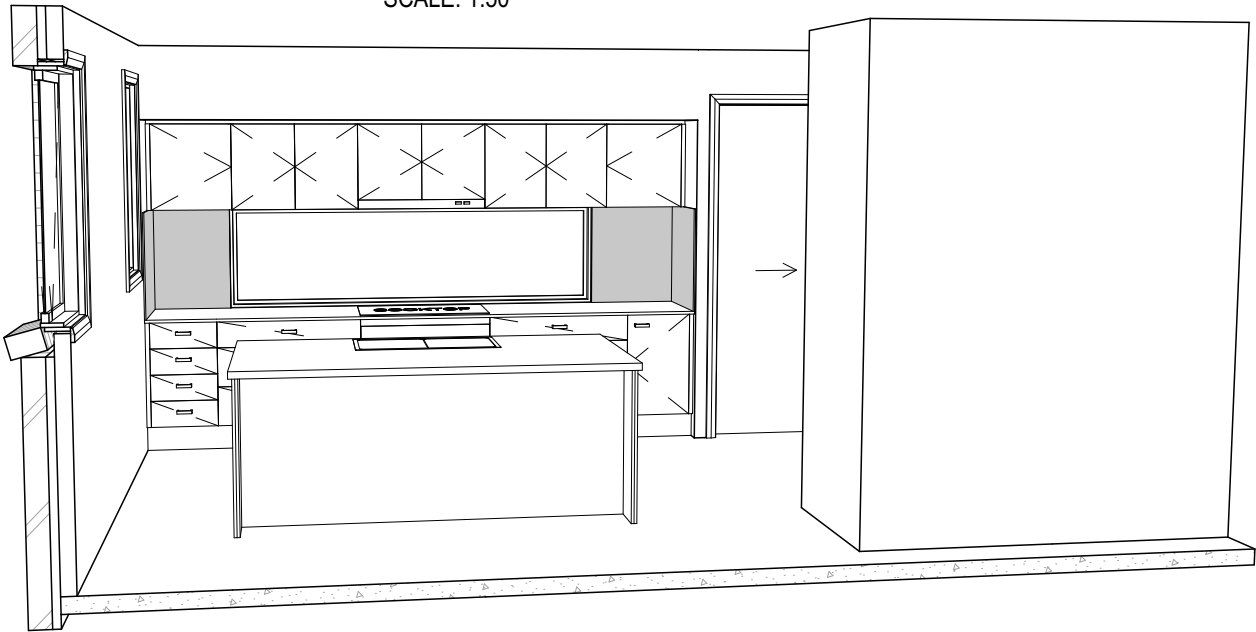
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SCALE: 1:50



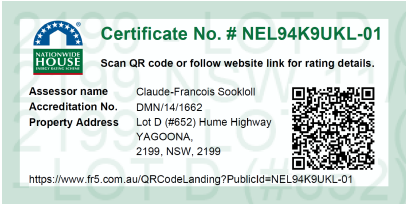
ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50



**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY**

PLAN ACCEPTANCE BY OWNER

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7	AMENDED AS PER PCV08 - GRANNY FLAT REMOVED	LFL	11/12/2025
8	PCV010 APPLIED (HYDRAULIC STAMP)	JCZ	13/01/2026
9	AMENDED AS PER PCV012	PRS	11/08/2026

DRAWN

GB0	20/08/2025
LLE	22/08/2025
LFL	11/12/2025
JCZ	13/01/2026
PRS	11/08/2026

CLIENT:

MS YEN THI KIM TRAN

ADDRESS:

652 HUME HIGHWAY, YAGOONA NSW 2199

LOT / SECTION / DP:

D / - / 400267

COUNCIL:

CANTERBURY BANKSTOWN

HOUSE DESIGN:

LURENTO TWO

FACADE DESIGN:

WEBSTER

SHEET TITLE:

KITCHEN DETAILS

SHEET No.:

14 / 24

HOUSE CODE:

H-MNWLRO20DA

FACADE CODE:

F-LROWBTR01

SCALES:

1:50

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607503

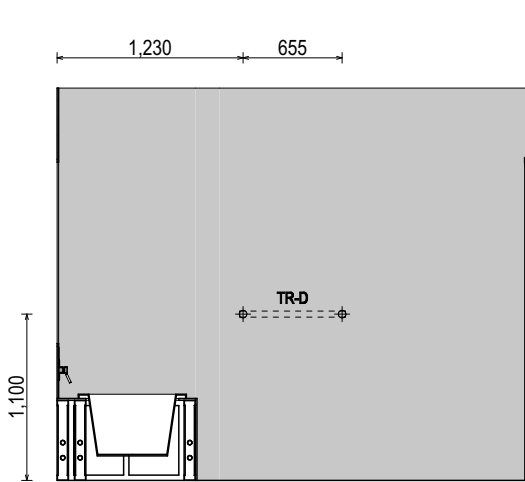
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

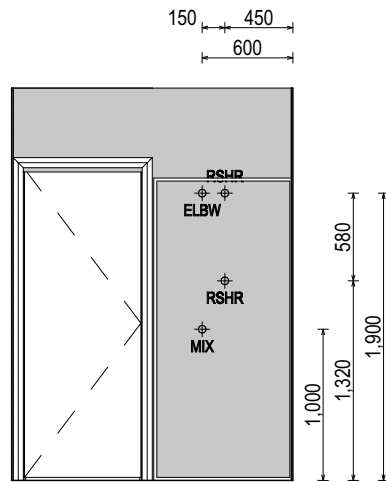
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LEGEND

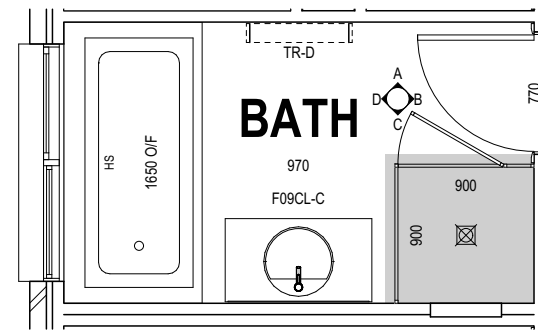
- | | |
|------|-------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW CONNECTION |
| MIX | MIXER TAP |
| HT | HOT TAP |
| CT | COLD TAP |
| HS | HOB SPOUT |
| WS | WALL SPOUT |
| SC | STOP COCK |
| TRH | TOILET ROLL HOLDER |
| TR-S | TOWEL RAIL - SINGLE |
| TR-D | TOWEL RAIL - DOUBLE |
| TL | TOWEL LADDER |
| TH | TOWEL HOLDER |
| TR | TOWEL RACK |
| TMB | TUMBLER HOLDER |
| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
| SR | SHAMPOO RECESS |
| SOAP | SOAP HOLDER |



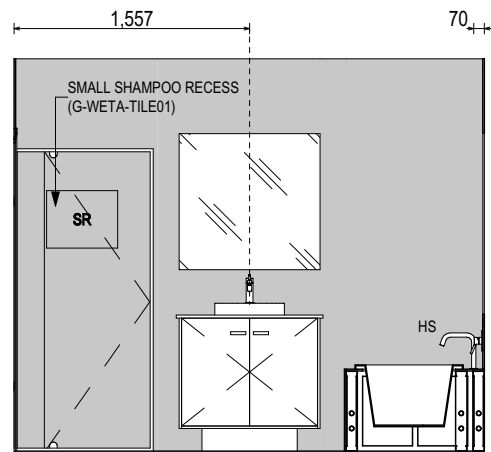
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SCALE: 1:50



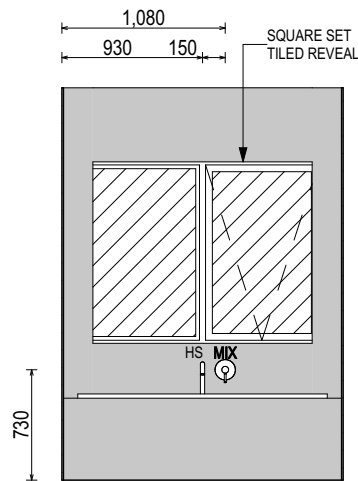
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SCALE: 1:50



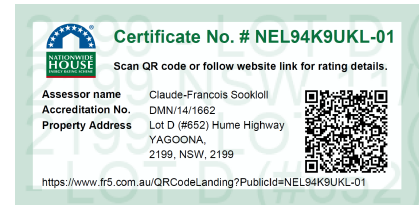
BATHROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY**

PLAN ACCEPTANCE BY OWNER

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	6 COLOURS APPLIED	LLE 22/08/2025	LOT / SECTION / DP: D / - / 400267	SHEET TITLE: BATHROOM DETAILS	SHEET No.: 15 / 24	
	7 AMENDED AS PER PCV08 - GRANNY FLAT REMOVED	LFL 11/12/2025	COUNCIL: CANTERBURY BANKSTOWN		SCALES: 1:50	
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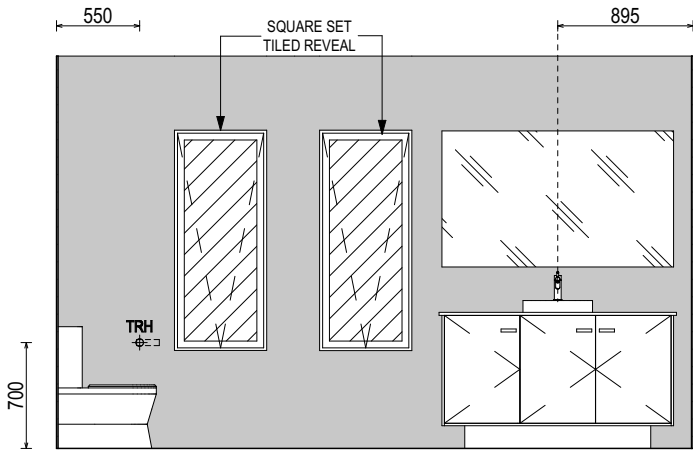
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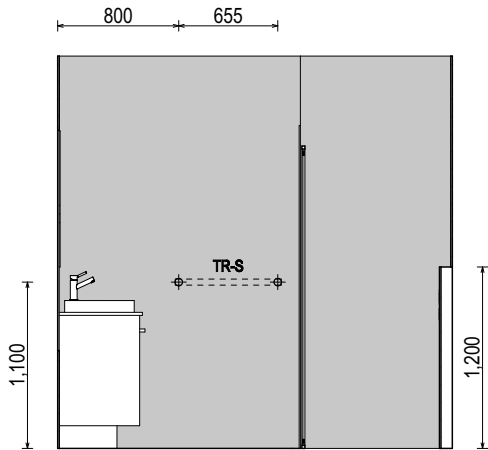
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LEGEND

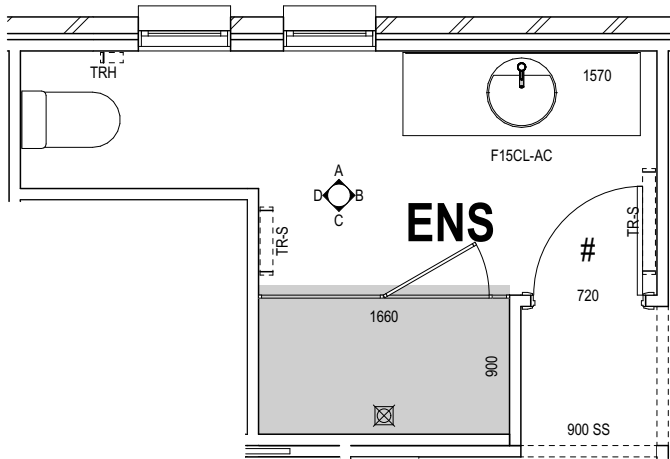
- | | |
|------|-------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
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| MIX | MIXER TAP |
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| HS | HOB SPOUT |
| WS | WALL SPOUT |
| SC | STOP COCK |
| TRH | TOILET ROLL HOLDER |
| TR-S | TOWEL RAIL - SINGLE |
| TR-D | TOWEL RAIL - DOUBLE |
| TL | TOWEL LADDER |
| TH | TOWEL HOLDER |
| TR | TOWEL RACK |
| TMB | TUMBLER HOLDER |
| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
| SR | SHAMPOO RECESS |
| SOAP | SOAP HOLDER |



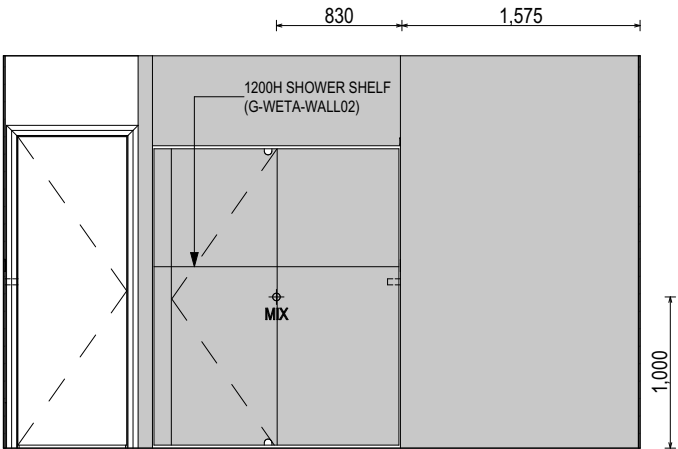
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SCALE: 1:50



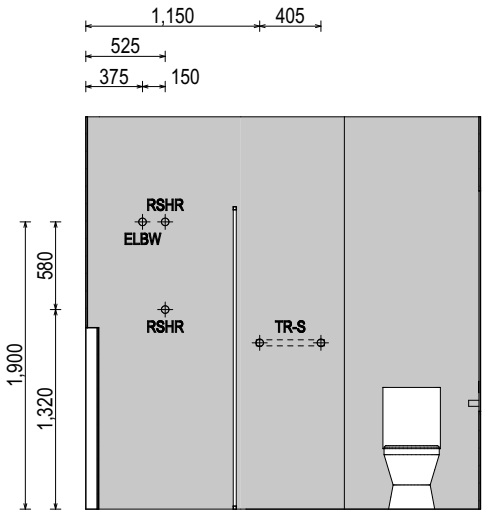
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SCALE: 1:50



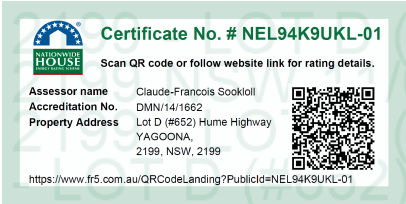
ENSUITE PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

ALL DIMENSIONS ARE FRAME DIMENSIONS

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SPECIFICATION:

NOW

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REVISION

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6 COLOURS APPLIED

7 AMENDED AS PER PCV08 - GRANNY FLAT REMOVED

8 PCV010 APPLIED (HYDRAULIC STAMP)

9 AMENDED AS PER PCV012

DRAWN

GBO 20/08/2025

LLE 22/08/2025

LFL 11/12/2025

JCZ 13/01/2026

PRS 11/08/2026

CLIENT:

MS YEN THI KIM TRAN

ADDRESS:

652 HUME HIGHWAY, YAGOONA NSW 2199

LOT / SECTION / DP:

D / - / 400267

COUNCIL:

CANTERBURY BANKSTOWN

HOUSE DESIGN:

LURENTO TWO

FACADE DESIGN:

WEBSTER

SHEET TITLE:

ENSUITE DETAILS

SHEET No.:

16 / 24

HOUSE CODE:

H-MNWLRO20DA

FACADE CODE:

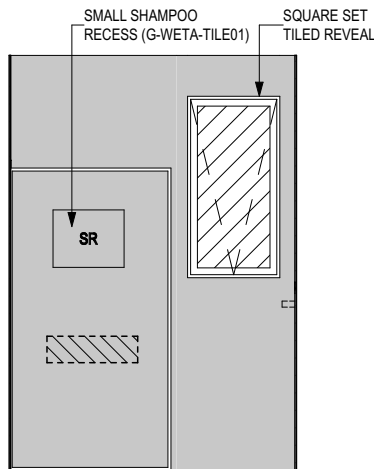
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SCALES:

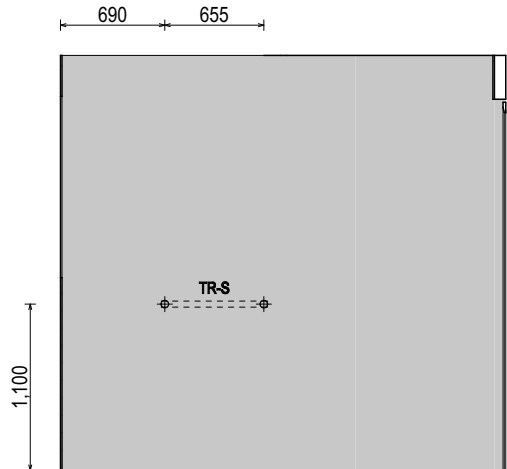
1:50

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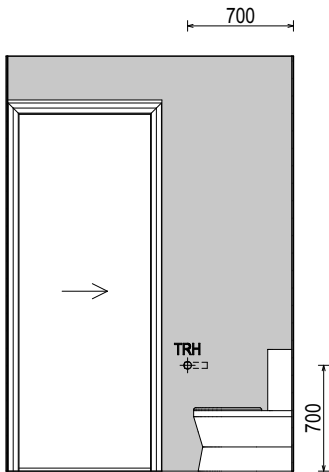
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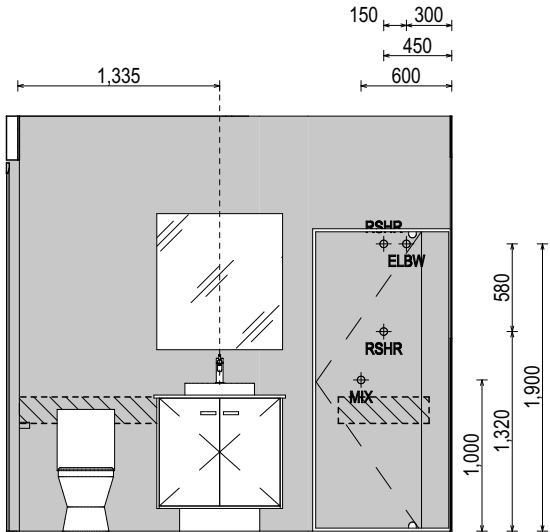
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SCALE: 1:50



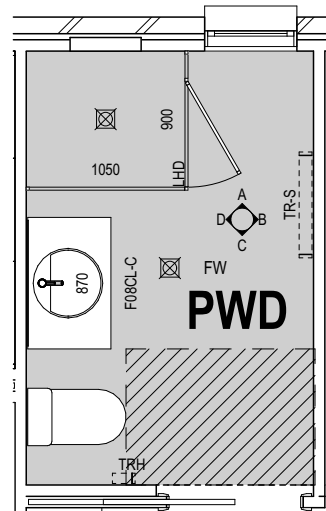
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



POWDER ROOM PLAN
SCALE: 1:50

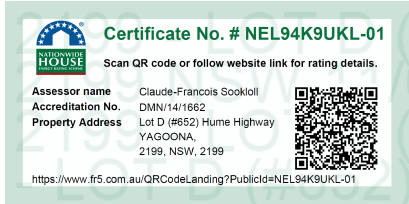
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

ALL DIMENSIONS ARE FRAME DIMENSIONS

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SPECIFICATION:

NOW

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REVISION

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6 COLOURS APPLIED

7 AMENDED AS PER PCV08 - GRANNY FLAT REMOVED

8 PCV010 APPLIED (HYDRAULIC STAMP)

9 AMENDED AS PER PCV012

DRAWN

GBD 20/08/2025

LLE 22/08/2025

LFL 11/12/2025

JCZ 13/01/2026

PRS 11/08/2026

CLIENT:

MS YEN THI KIM TRAN

ADDRESS:

652 HUME HIGHWAY, YAGOONA NSW 2199

LOT / SECTION / DP:

D / - / 400267

COUNCIL:

CANTERBURY BANKSTOWN

HOUSE DESIGN:

LURENTO TWO

FACADE DESIGN:

WEBSTER

SHEET TITLE:

POWDER ROOM DETAILS

SHEET No.:

17 / 24

HOUSE CODE:

H-MNWLRO20DA

FACADE CODE:

F-LROWBTR01

SCALES:

1:50

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607503

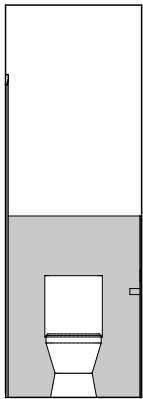
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- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

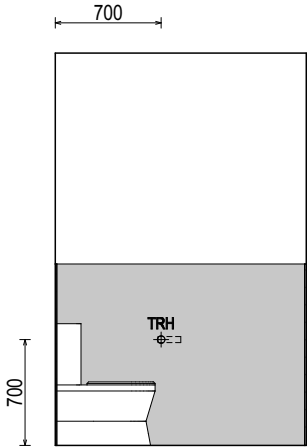
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

LEGEND

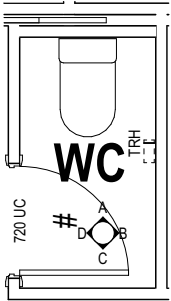
- | | |
|------|-------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW CONNECTION |
| MIX | MIXER TAP |
| HT | HOT TAP |
| CT | COLD TAP |
| HS | HOB SPOUT |
| WS | WALL SPOUT |
| SC | STOP COCK |
| TRH | TOILET ROLL HOLDER |
| TR-S | TOWEL RAIL - SINGLE |
| TR-D | TOWEL RAIL - DOUBLE |
| TL | TOWEL LADDER |
| TH | TOWEL HOLDER |
| TR | TOWEL RACK |
| TMB | TUMBLER HOLDER |
| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
| SR | SHAMPOO RECESS |
| SOAP | SOAP HOLDER |



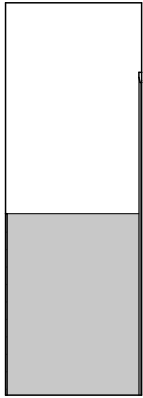
ELEVATION A
SCALE: 1:50



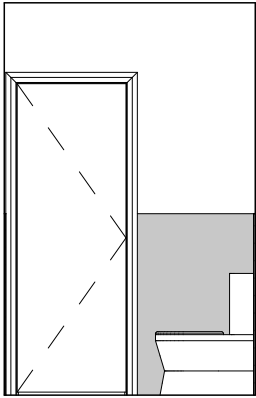
ELEVATION B
SCALE: 1:50



WC PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



Certificate No. #NEL94K9UKL-01

Scan QR code or follow website link for rating details.

Assessor name

Accreditation No.

Property Address

Claude-Francois Sookloll

DMN/14/1662

Lot D (#652) Hume Highway

YAGOONA,

2199, NSW, 2199



<https://www.fr5.com.au/QRCodeLanding?PublicId=NEL94K9UKL-01>

SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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NOW	5	AMENDED AS PER PCV002		GBO	20/08/2025	MS YEN THI KIM TRAN		LURENTO TWO		H-MNWLRO20DA		
COPYRIGHT:	6	COLOURS APPLIED		LLE	22/08/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
© 2026	7	AMENDED AS PER PCV08 - GRANNY FLAT REMOVED		LFL	11/12/2025	652 HUME HIGHWAY, YAGOONA NSW 2199		WEBSTER		F-LROWBTR01		
	8	PCV010 APPLIED (HYDRAULIC STAMP)		JCZ	13/01/2026	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
	9	AMENDED AS PER PCV012		PRS	11/08/2026	D / - / 400267	CANTERBURY BANKSTOWN	WC DETAILS	18 / 24	1:50	607503	

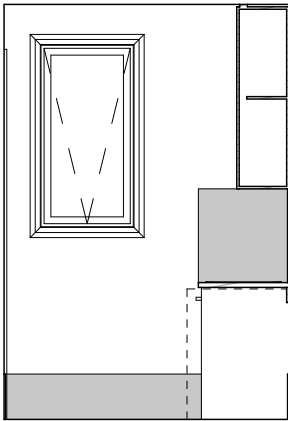
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

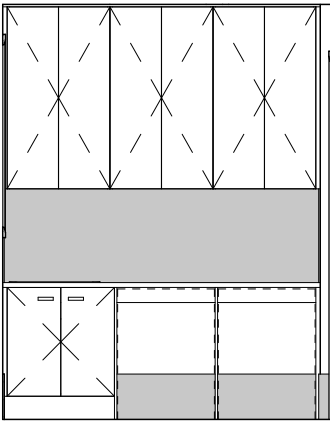
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

LEGEND

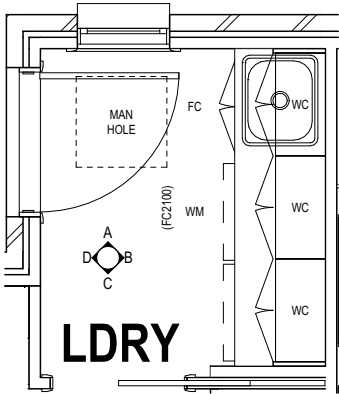
- | | |
|------|-------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW CONNECTION |
| MIX | MIXER TAP |
| HT | HOT TAP |
| CT | COLD TAP |
| HS | HOB SPOUT |
| WS | WALL SPOUT |
| SC | STOP COCK |
| TRH | TOILET ROLL HOLDER |
| TR-S | TOWEL RAIL - SINGLE |
| TR-D | TOWEL RAIL - DOUBLE |
| TL | TOWEL LADDER |
| TH | TOWEL HOLDER |
| TR | TOWEL RACK |
| TMB | TUMBLER HOLDER |
| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
| SR | SHAMPOO RECESS |
| SOAP | SOAP HOLDER |



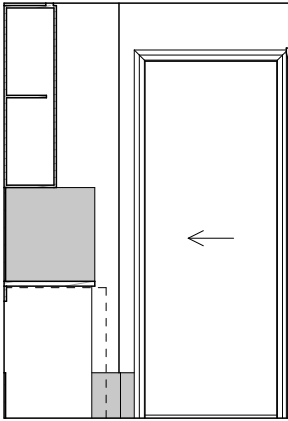
ELEVATION A
SCALE: 1:50



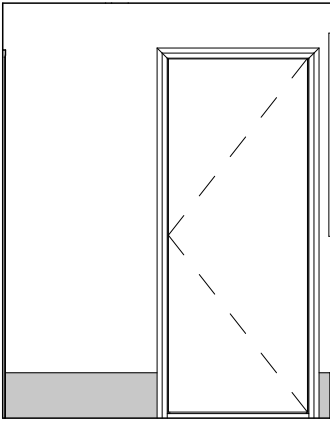
ELEVATION B
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

Certificate No. # NEL94K9UKL-01
Scan QR code or follow website link for rating details.

Assessor name
Accreditation No.
Property Address

Claude-Francois Sookloll
DMN/14/1662
Lot D (#652) Hume Highway
YAGOONA,
2199, NSW, 2199

<https://www.fr5.com.au/QRCodeLanding?PublicId=NEL94K9UKL-01>

**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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	5	AMENDED AS PER PCV002		GBO	20/08/2025	MS YEN THI KIM TRAN		LURENTO TWO		H-MNWLRO20DA				
	6	COLOURS APPLIED		LLE	22/08/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:				
	7	AMENDED AS PER PCV08 - GRANNY FLAT REMOVED		LFL	11/12/2025	652 HUME HIGHWAY, YAGOONA NSW 2199		WEBSTER		F-LROWBTR01				
	8	PCV010 APPLIED (HYDRAULIC STAMP)		JCZ	13/01/2026	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:			
COPYRIGHT: © 2026														
	9	AMENDED AS PER PCV012		PRS	11/08/2026	D / - / 400267		CANTERBURY BANKSTOWN		LAUNDRY DETAILS		19 / 24	1:50	607503

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

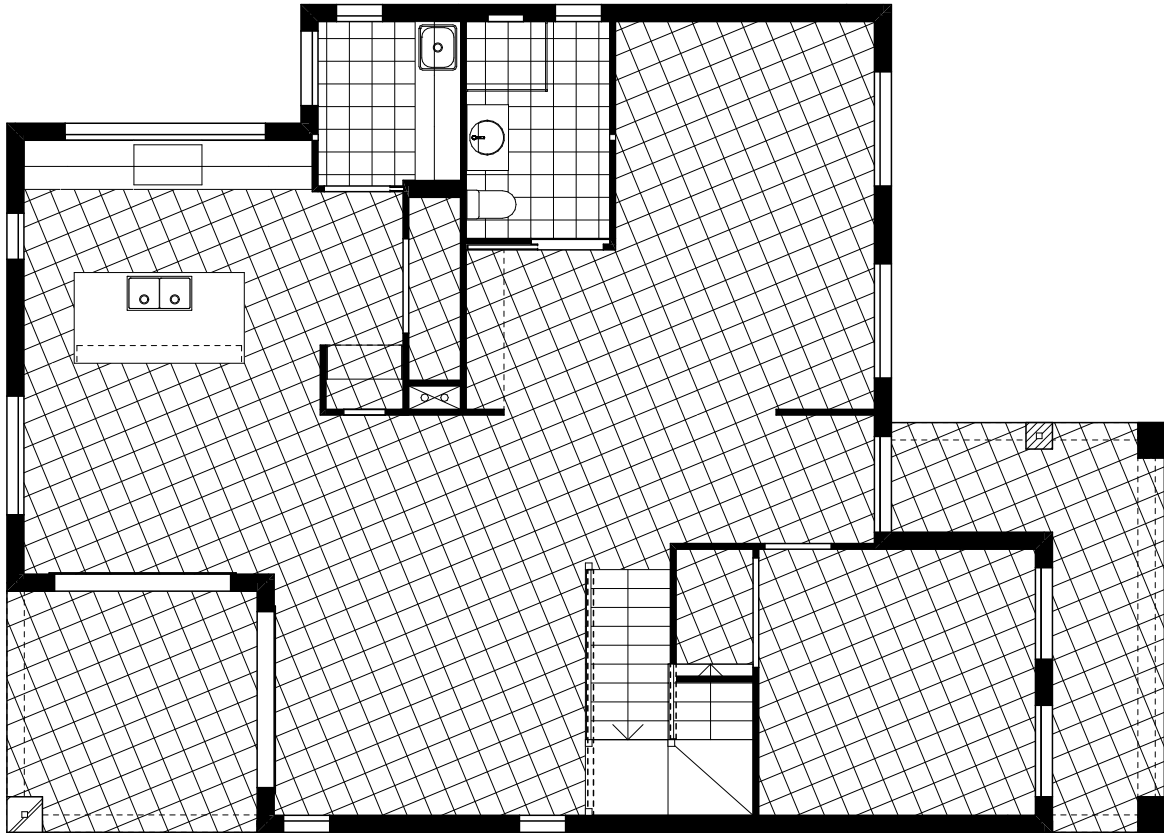
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.

TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

	NO COVERING
	RAW CONCRETE (COVERING BY OWNER)
	CARPET
	TIMBER/LAMINATE (BY BUILDER)
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS) (BY BUILDER)
	VINYL



FLOOR COVERINGS (GROUND FLOOR)
SCALE: 1:100

Certificate No. # NEL94K9UKL-01

Scan QR code or follow website link for rating details.

Assessor name	Claude-Francois Sookioli
Accreditation No.	DMN/14/1662
Property Address	Lot D (#652) Hume Highway YAGOONA, 2199, NSW, 2199

<https://www.fr5.com.au/QRCodeLanding?PublicId=NEL94K9UKL-01>

SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE:	DATE:

SIGNATURE:	DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

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NOW	5	AMENDED AS PER PCV002	GBO 20/08/2025	MS YEN THI KIM TRAN		LURENTO TWO		H-MNWLRO20DA	
COPYRIGHT:	6	COLOURS APPLIED	LLE 22/08/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:	
© 2026	7	AMENDED AS PER PCV08 - GRANNY FLAT REMOVED	LFL 11/12/2025	652 HUME HIGHWAY, YAGOONA NSW 2199		WEBSTER		F-LROWBTR01	
	8	PCV010 APPLIED (HYDRAULIC STAMP)	JCZ 13/01/2026	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	
	9	AMENDED AS PER PCV012	PRS 11/08/2026	D / - / 400267	CANTERBURY BANKSTOWN	FLOOR COVERINGS (GF)	20 / 24	1:100	607503

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.

TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

	NO COVERING
	RAW CONCRETE (COVERING BY OWNER)
	CARPET
	TIMBER/LAMINATE (BY BUILDER)
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS) (BY BUILDER)
	VINYL



FLOOR COVERINGS (FIRST FLOOR)
SCALE: 1:100

Certificate No. # NEL94K9UKL-01

Scan QR code or follow website link for rating details.

Assessor name Claude-Francois Sookloll
Accreditation No. DMN/14/1662
Property Address Lot D (#652) Hume Highway
YAGOONA,
2199, NSW, 2199

<https://www.fr5.com.au/QRCodeLanding?PublicId=NEL94K9UKL-01>

SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

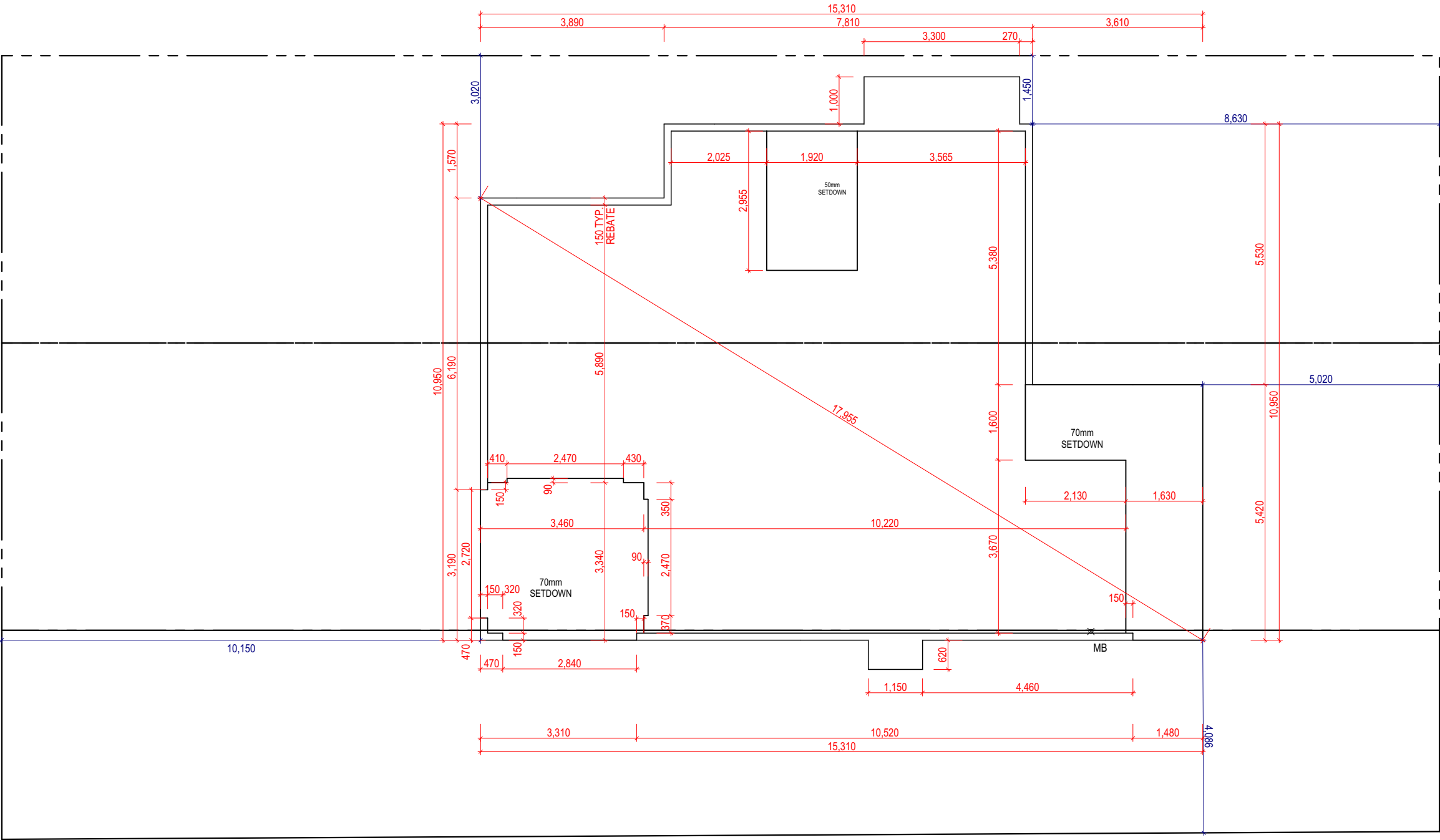
SIGNATURE: DATE:

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 FIND YOURSELF AT HOME	SPECIFICATION:		REVISION	DRAWN	CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	NOW	5	AMENDED AS PER PCV002	GBO 20/08/2025	MS YEN THI KIM TRAN	LURENTO TWO	H-MNWLRO20DA	
	COPYRIGHT:	6	COLOURS APPLIED	LLE 22/08/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	© 2026	7	AMENDED AS PER PCV08 - GRANNY FLAT REMOVED	LFL 11/12/2025	652 HUME HIGHWAY, YAGOONA NSW 2199	WEBSTER	F-LROWBTR01	
		8	PCV010 APPLIED (HYDRAULIC STAMP)	JCZ 13/01/2026	LOT / SECTION / DP:	SHEET TITLE:	SHEET No.:	
		9	AMENDED AS PER PCV012	PRS 11/08/2026	COUNCIL:	FLOOR COVERINGS (FF)	21 / 24	SCALES:
					CANTERBURY BANKSTOWN		1:100	607503

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



SLAB PLAN
SCALE: 1:100

**Certificate No. # NEL94K9UKL-01**

Scan QR code or follow website link for rating details.

Assessor name
Accreditation No.
Property Address

Claude-Francois Sookloll
DMN/14/1662
Lot D (#652) Hume Highway
YAGOONA,
2199, NSW, 2199



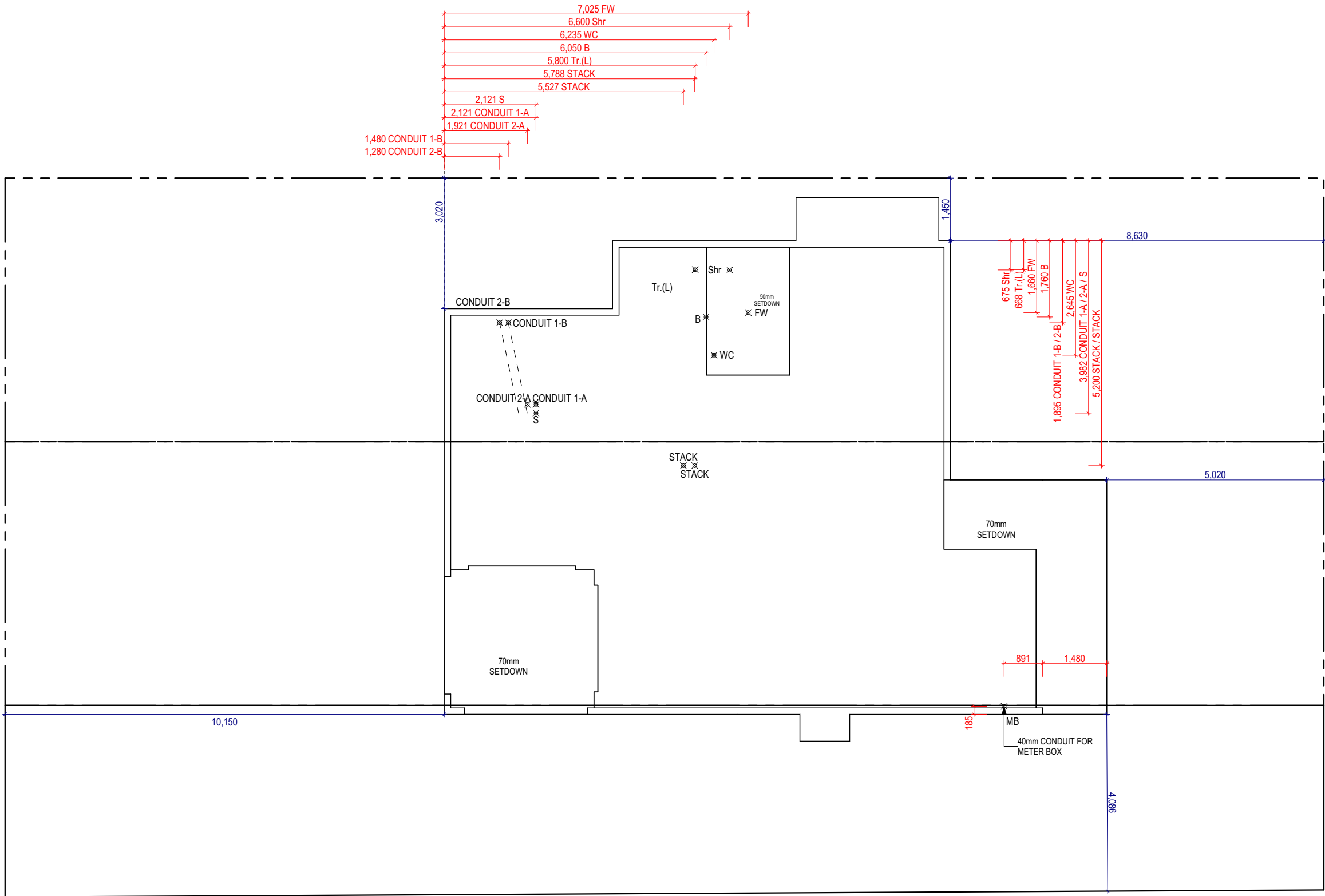
<https://www.ft5.com.au/QRCodeLanding?PublicId=NEL94K9UKL-01>

**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY**

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 mcdonald jones FIND YOURSELF AT HOME	SPECIFICATION: NOW		REVISION	DRAWN	CLIENT:	HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 607503
	COPYRIGHT: © 2026	5	AMENDED AS PER PCV002	GBO 20/08/2025	MS YEN THI KIM TRAN	LURENTO TWO		H-MNWLRO20DA	
		6	COLOURS APPLIED	LLE 22/08/2025	ADDRESS:	FACADE DESIGN:		FACADE CODE:	
		7	AMENDED AS PER PCV08 - GRANNY FLAT REMOVED	LFL 11/12/2025	652 HUME HIGHWAY, YAGOONA NSW 2199	WEBSTER		F-LROWBTR01	
		8	PCV010 APPLIED (HYDRAULIC STAMP)	JCZ 13/01/2026	LOT / SECTION / DP:	SHEET TITLE:	SHEET No.:	SCALES:	
		9	AMENDED AS PER PCV012	PRS 11/08/2026	COUNCIL:	SLAB PLAN	22 / 24	1:100	
					CANTERBURY BANKSTOWN				

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



DRAINAGE PLAN
SCALE: 1:100

LEGEND

- B BASIN
- Bth BATH WASTE
- FW FLOOR WASTE GULLY
- Shr SHOWER
- S SINK (KITCHEN)
- Tr.(L) TROUGH (LAUNDRY)
- WC WATER CLOSET

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Certificate No. # NEL94K9UKL-01

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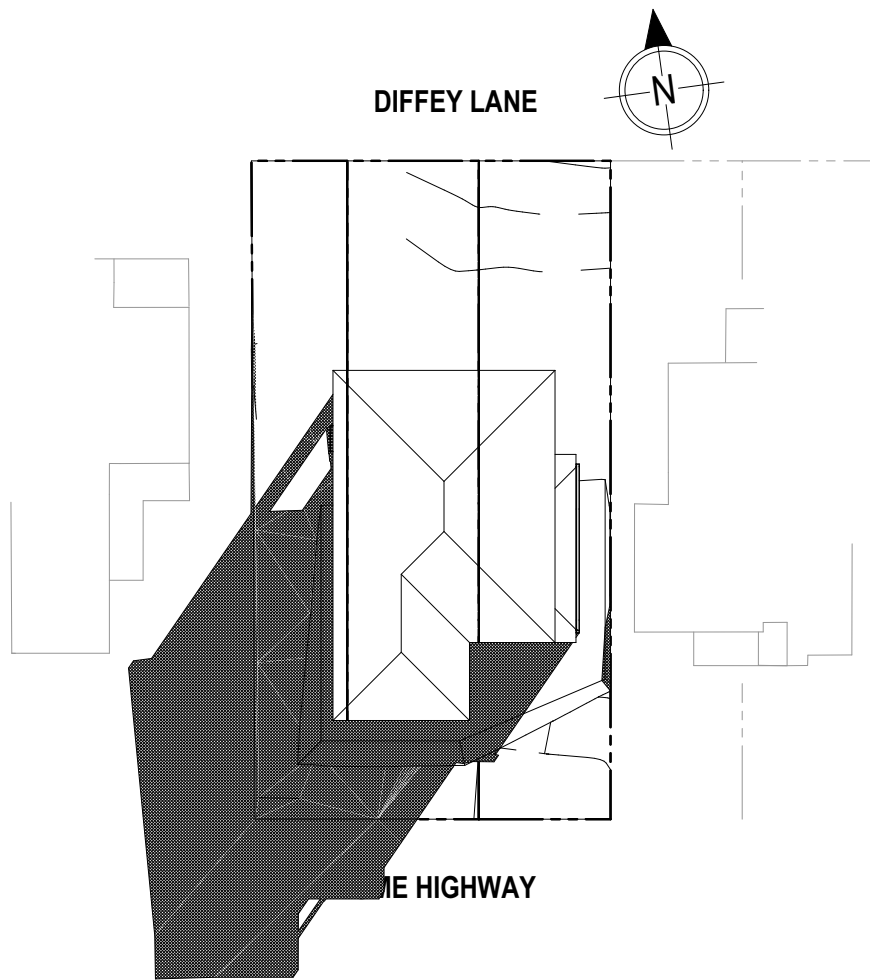
Assessor name: Claude-Francois Sookkoll
Accreditation No: DMN/14/1662
Property Address: Lot D (#652) Hume Highway, YAGOONA, 2199, NSW, 2199

<https://www.fr5.com.au/QRCodeLanding?PublicId=NEL94K9UKL-01>

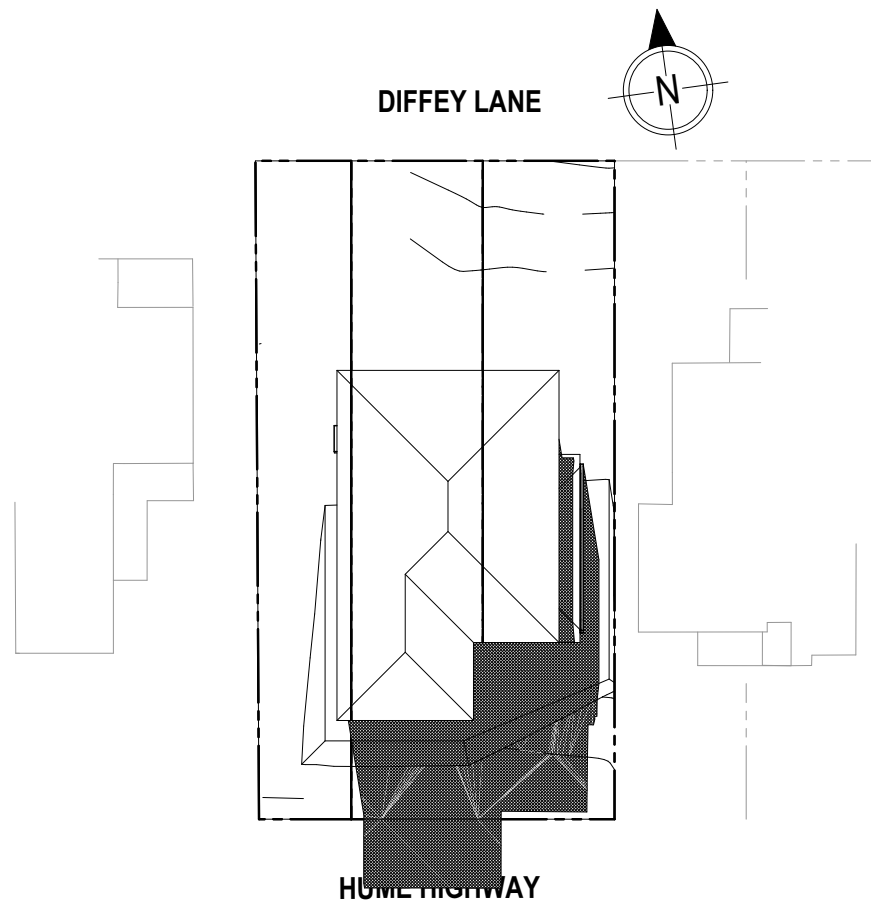
SUBJECT TO NCC 2022
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CONDENSATION MANAGEMENT
ENERGY EFFICIENCY



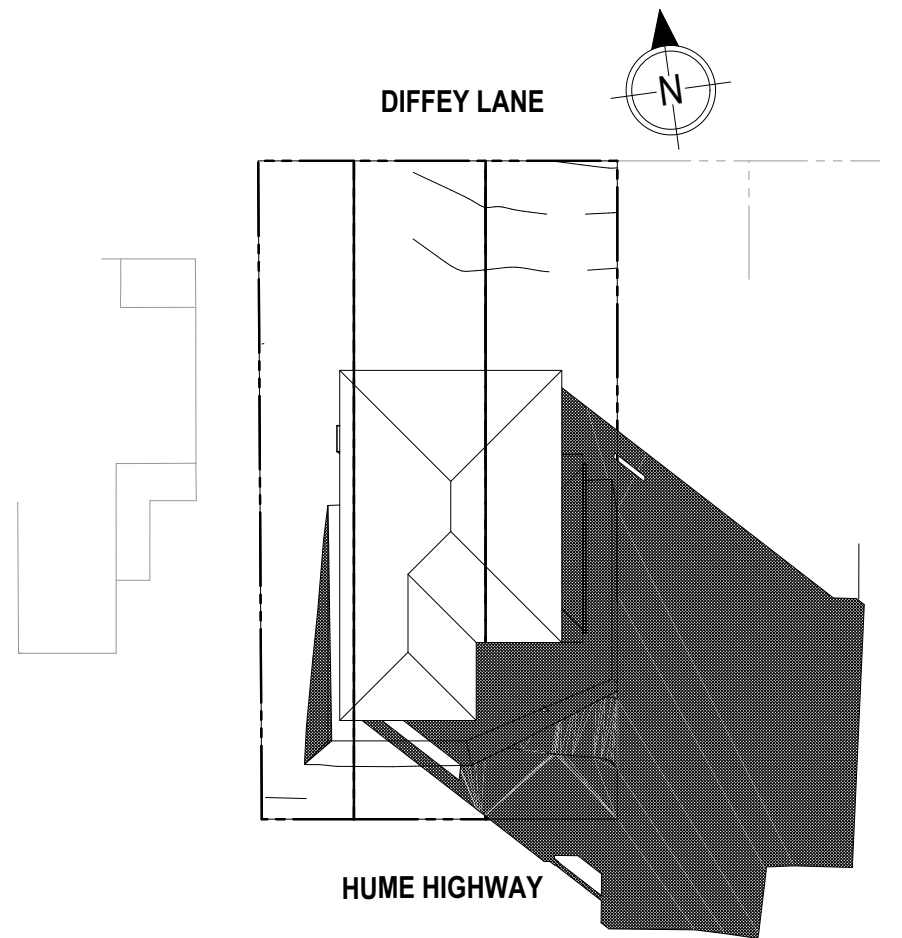
SPECIFICATION: NOW COPYRIGHT: © 2026		REVISION	DRAWN	CLIENT:	HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 607503
	5	AMENDED AS PER PCV002	GBO	20/08/2025	MS YEN THI KIM TRAN		H-MNWLRO20DA	
	6	COLOURS APPLIED	LLE	22/08/2025	ADDRESS:		FACADE CODE:	
	7	AMENDED AS PER PCV08 - GRANNY FLAT REMOVED	LFL	11/12/2025	652 HUME HIGHWAY, YAGOONA NSW 2199		F-LROWBTR01	
	8	PCV010 APPLIED (HYDRAULIC STAMP)	JCZ	13/01/2026	LOT / SECTION / DP:	COUNCIL:	SHEET No.:	
	9	AMENDED AS PER PCV012	PRS	11/08/2026	D / - / 400267	CANTERBURY BANKSTOWN	23 / 24	1:100



JUNE 21 - 0900



JUNE 21 - 1200



JUNE 21 - 1500



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	8	PCV010 APPLIED (HYDRAULIC STAMP)			JCZ	13/01/2026	LOT / SECTION / DP:		SHEET TITLE:		SHEET No.:			
	9	AMENDED AS PER PCV012			PRS	11/08/2026	D / - / 400267		COUNCIL:		SCALES:			
							CANTERBURY BANKSTOWN		SHADOW DIAGRAMS - JUNE 21		24 / 24		1:350	607503